

IN RE: PETITIONS FOR SPECIAL EXCEPTION * BEFORE THE
AND VARIANCE - NW/S Frederick Road at
its intersection w/Thistle Road * DEPUTY ZONING COMMISSIONER
(2118 Frederick Road)
1st Election District * OF BALTIMORE COUNTY
1st Councilmanic District *
Case No. 96-55-XA
Charles P. Juzelenos, et ux
Petitioners *

* * * * *

FINDINGS OF FACT AND CONCLUSIONS OF LAW

This matter comes before the Deputy Zoning Commissioner as Petitions for Special Exception and Variance for that property known as 2118 Frederick Road, located in the vicinity of the Patapsco Valley State Park and the Baltimore County/Howard County line in Catonsville. The Petitions were filed by the owners of the property, Charles P. and Violet Yolanda Juzelenos, and the Contract Lessee, American PCS, L.P., by Margaret C. Ruggieri, Esquire, through their attorney, Christine K. McSherry, Esquire. The Petitioners seek a special exception to permit a wireless transmitting and receiving facility on the subject site, and variances from Section 502.7.C.2 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a front setback of 109 feet, a left side setback of 114 feet, a right side setback of 84 feet, and a rear setback of 85 feet, in lieu of the required 340 feet for each, and from Section 502.7.C.3 to permit a lot size of 1.4 acres in lieu of the minimum required 5 acres. The subject property and relief sought are more particularly described on the site plan submitted which was accepted into evidence as Petitioner's Exhibit 1.

Appearing at the hearing on behalf of the Petitions were Greg Sarro, Zoning Administrator for American PCS, L.P., the Contract Lessee of the subject property, Melanie Moser, a Senior Associate and Land Planning Expert with Daft-McCune-Walker, Inc., who prepared the site plan for this

ORDER RECEIVED FOR FILING
Date 10/5/96
By [Signature]

project, Deborah Meaney and Andrew Werchniak, representatives of Moffit, Larson & Johnson, a site acquisition consulting firm, and Christine McSherry, Esquire, attorney for the Petitioners. Appearing as Protestants in the matter were numerous residents of the surrounding community, including Michele A. Wehner, Mary Lou Beach and Eugene L. Shaver, who testified and participated in the proceedings.

Testimony and evidence offered on behalf of the Petitions revealed that the subject property consists of 1.4 acres, more or less, split zoned R.O, D.R. 2 and D.R. 5.5, and is improved with a single family residence, a detached block and frame garage which houses a nonconforming automotive repair shop, a shed, and two billboard signs. The Petitioners have entered into an agreement with American PCS, L.P. to lease a small portion of the subject property to erect a wireless transmitting and receiving facility on the premises. This facility would consist of a 170-foot high monopole antenna tower with six panel-type antennae as more particularly described on the site plan submitted and marked into evidence as Petitioner's Exhibit 1. On behalf of the Petitioners, Ms. Melanie Moser testified as to the use proposed and the type of monopole to be constructed on the property. She testified that the proposed tower will contain no guy wires and no strobe lighting. Ms. Moser also testified that existing vegetation on the property will screen the first 40 to 50 feet of the monopole tower and that a triangle will be constructed approximately 165 feet off the ground on which the antennae will be located. Testimony indicated that due to the size of the property, its configuration, and the height of the proposed tower, the requested variances are necessary. Further testimony revealed that the portion of the property on which the tower is to be erected is zoned R.O., which permits the use proposed by special exception.

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Date

By

Ms. Deborah Meaney testified as to the efforts taken by American PCS to locate suitable sites in this area on which to erect such wireless transmitting and receiving devices. She testified that American PCS does not presently have services in this area and after an extensive and thorough search of the entire cell area, the subject location was determined to be the most practical site for the proposed tower. Ms. Meaney testified that all other property owners who were approached concerning the location of a tower on their property expressed no interest in leasing land to American PCS for this purpose.

Mr. Andrew Werchniak also testified on behalf of the Petitioners. Mr. Werchniak is an electrical engineer who offered testimony as to the amount of radio frequency emissions that are generated by these antennae. Mr. Werchniak testified that the amount of radio frequencies which are emitted by these antennae are well within the ANSI standards that are applicable to such devices, and that the antennae themselves do not pose any threat to human safety.

As noted above, several residents from the surrounding community appeared in opposition to the Petitioners' request. Testimony was offered by Eugene Shaver and Mary Lou Beach, both of whom object to the antennae themselves, citing concerns as to whether the emissions generated by those antennae pose any danger to the residents that live within close proximity of them. The Protestants also expressed concern over the height of the tower and the fact that the Petitioners have failed to meet setback requirements imposed upon them by Sections 502.1 and 502.7 of the B.C.Z.R.

After reviewing all of the testimony and evidence offered at the hearing, I find that the Petitioners have proven that the antennae used to transmit and receive radio frequencies in connection with this cellular

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Date

By

operation do not pose a health hazard to the general public. This finding is based on the expert testimony and documentation offered to this Deputy Zoning Commissioner through Petitioner's Exhibits 2 and 3. However, the Petitioners have failed to establish sufficient justification for granting the requested variances for the tower itself. I find that a tower of 170 feet with setbacks of 109 feet to the south, 84 feet to the east, 85 feet to the north, and 114 feet to the northwest, generates a safety issue sufficient to deny the special exception and variances requested.

In order for a special exception to be granted, the Petitioner must demonstrate that the proposed use would be conducted without real detriment to the neighborhood and would not adversely affect the public interest. Furthermore, the Petitioners must show that the use for which the special exception is being requested will not create a potential hazard from fire, panic, or other dangers (See Section 502.1.c). I believe, and hereby find, that the construction of a 170-foot tower with the setbacks proposed for this site does create an "other danger", and therefore, must be denied.

On the issue of wireless transmitting and receiving towers, the Baltimore County Council specified certain setbacks applicable to such towers as well as the minimum lot acreage required for tower locations within Section 502.7 of the B.C.Z.R. Specifically, Section 502.7.C and the subsections contained thereunder specify the additional requirements which must be met prior to the granting of a special exception. Pursuant to the Petition for Variance filed, the Petitioners were forced to seek relief from Sections 502.7.C.2 and 3 of the B.C.Z.R.

I find from the testimony and evidence offered at the hearing that the subject property lacks sufficient size and area overall to accom-

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Date 10/5/16
By [Signature]

moderate the proposed tower and justify the variance relief sought. The variances cannot be granted without causing injury to the public health, safety and general welfare and thus, must be denied.

Furthermore, it should be noted that the subject property contains a mixed bag of uses. There is a dwelling on the premises which is used for residential purposes, a garage which is the site of an automotive repair shop, and two billboards. In addition, the property is located near the Patapsco Valley State Park not far from the Howard County line on Frederick Road, which has been designated a scenic route in this vicinity. In my view, a 170-foot high communications tower at this location would not be compatible with the scenic character of the surrounding locale. Thus, for this reason and the other reasons stated above, I am compelled to deny the relief requested.


Pursuant to the advertisement, posting of the property, and public hearing on these Petitions held, and for the reasons given above, the relief requested in the special exception and variances should be denied.

THEREFORE, IT IS ORDERED by the Deputy Zoning Commissioner for Baltimore County this 5th day of October, 1995 that the Petition for Special Exception to permit a wireless transmitting and receiving facility on the subject site, in accordance with Petitioner's Exhibit 1, be and is hereby DENIED; and,

IT IS FURTHER ORDERED that the Petition for Variance seeking relief from Section 502.7.C.2 of the Baltimore County Zoning Regulations (B.C.Z.R.) to permit a front setback of 109 feet, a left side setback of 114 feet, a right side setback of 84 feet, and a rear setback of 85 feet, in lieu of the required 340 feet for each, and from Section 502.7.C.3 to

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Date 10/5/95
By [Signature]

permit a lot size of 1.4 acres in lieu of the minimum required 5 acres, in accordance with Petitioner's Exhibit 1, be and is hereby DENIED.


TIMOTHY M. KOTROCO
Deputy Zoning Commissioner
for Baltimore County

TMK:bjs

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Date 10/3/95
By [Signature]

Baltimore County Government
Zoning Commissioner
Office of Planning and Zoning



Suite 112 Courthouse
400 Washington Avenue
Towson, MD 21204

October 5, 1995

(410) 887-4386

Christine K. McSherry, Esquire
Whiteford, Taylor & Preston
210 W. Pennsylvania Avenue
Towson, Maryland 21204

RE: PETITIONS FOR SPECIAL EXCEPTION AND VARIANCE
NW/S Frederick Road at its intersection w/Thistle Road
(2118 Frederick Road)
1st Election District - 1st Councilmanic District
Charles P. Juzelenos, et ux - Petitioners
Case No. 96-55-XA

Dear Ms. McSherry:

Enclosed please find a copy of the decision rendered in the above-captioned matter. The Petitions for Special Exception and Variance have been denied in accordance with the attached Order.

In the event any party finds the decision rendered is unfavorable, any party may file an appeal to the County Board of Appeals within thirty (30) days of the date of this Order. For further information on filing an appeal, please contact the Permits and Development Management office at 887-3391.

Very truly yours,

A handwritten signature in cursive script, reading "Timothy Kotroco".

TIMOTHY M. KOTROCO
Deputy Zoning Commissioner
for Baltimore County

TMK:bjs

cc: Mr./Mrs. Charles Juzelenos, 2120 Frederick Rd., Catonsville, Md. 21228

Mr. Greg Sarro, American PCS, L.P., One Democracy Center, Suite 600,
6901 Rockledge Drive, Bethesda, Md. 20817

Ms. Melanie Moser, Daft-McCune-Walker, Inc.
200 E. Pennsylvania Ave., Towson, Md. 21286

Mr. Andrew Werchniak & Ms. Debbie Meaney, c/o Moffit, Larson & Johnson
1110 North Glebe Road, Suite 800, Arlington, Va. 22201

Mr. & Mrs. Roger Wehner, 96 Rollingbrook Way, Catonsville, Md. 21228
Ms. Mary Lou Beach, 105 Hillside Road, Catonsville, Md. 21228
Mr. Eugene L. Shaver, 116 S. Hilltop Road, Catonsville, Md. 21228

File Copy



45



Petition for Special Exception

to the Zoning Commissioner of Baltimore County

for the property located at #2118 Frederick Road

96-55-XA

which is presently zoned, DR-2, DR-5.5, RO

This Petition shall be filed with the Office of Zoning Administration & Development Management.

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Special Exception under the Zoning Regulations of Baltimore County, to use the herein described property for

A wireless transmitting and receiving facility.

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Special Exception advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Margaret C. Ruggieri, Esq. for
American PCS, L.P.

(Type or Print Name)

Signature

One Democracy Center, Suite 600
6901 Rockledge Drive

Address

Bethesda, MD 20817

City

State

Zipcode

Attorney for Petitioner:

Christine K. McSherry, Esq.

(Type or Print Name)

Signature

Whiteford, Taylor & Preston
210 W. Pennsylvania Avenue

Address

Phone No.

Towson, MD 21204 (410) 832-2000

City

State

Zipcode

Legal Owner(s):

Charles P. Juzelenos

(Type or Print Name)

Signature

Violet Yolanda Juzelenos

(Type or Print Name)

Signature

2120 Frederick Road (410) 747-6117

Address

Phone No.

Catonsville, MD 21228

City

State

Zipcode

Name, Address and phone number of legal owner, contract purchaser, or representative to be contacted.

Christine K. McSherry, Esq.

Name

210 W. Pennsylvania Avenue

Address

Phone No.

Towson, MD 21204 (410) 832-2000

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING

unavailable for Hearing

1 hr.

the following dates _____ Next Two Months

ALL _____ OTHER _____

REVIEWED BY: mjk

DATE

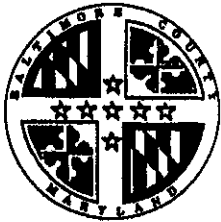
8/2/95

Zoning Administration
& Development Management

ORDER RECEIVED FOR FILING

Date

By



Petition for Variance

to the Zoning Commissioner of Baltimore County

for the property located at #2118 Frederick Road

which is presently zoned DR-2, DR-5, 5, RO

This Petition shall be filed with the Office of Zoning Administration & Development Management.

The undersigned, legal owner(s) of the property situate in Baltimore County and which is described in the description and plat attached hereto and made a part hereof, hereby petition for a Variance from Section (s) 96-55-XA

502.7C2 to allow front, left side, right side, and rear setbacks of 109 feet, 114 feet, 84 feet, and 85 feet respectively for a wireless transmitting and receiving facility in lieu of the required 340 feet.

502.7C3 to allow a lot size of 1.4 acres in lieu of the required 5 acres.

of the Zoning Regulations of Baltimore County, to the Zoning Law of Baltimore County; for the following reasons: (indicate hardship or practical difficulty)

To be presented at hearing.

Property is to be posted and advertised as prescribed by Zoning Regulations.

I, or we, agree to pay expenses of above Variance advertising, posting, etc., upon filing of this petition, and further agree to and are to be bound by the zoning regulations and restrictions of Baltimore County adopted pursuant to the Zoning Law for Baltimore County.

I/We do solemnly declare and affirm, under the penalties of perjury, that I/we are the legal owner(s) of the property which is the subject of this Petition.

Contract Purchaser/Lessee:

Margaret C. Ruggieri, Esq. for
American PCS, L.P.

(Type or Print Name)

Signature

One Democracy Center, Suite 600
6901 Rockledge Drive

Address

Bethesda, MD 20817

City

State

Zipcode

Attorney for Petitioner:

Christine K. McSherry, Esq.

(Type or Print Name)

Signature

Whiteford, Taylor & Preston
210 W. Pennsylvania Avenue

Address

Towson, MD 21204 (410) 832-2000

City

State

Zipcode

Legal Owner(s):

Charles P. Juzelenos

(Type or Print Name)

Signature

Violet Yolanda Juzelenos

(Type or Print Name)

Signature

2120 Frederick Road (410) 747-6117

Address

Phone No.

Catonsville, MD 21228

City

State

Zipcode

Name, Address and phone number of representative to be contacted.

Christine K. McSherry, Esq.

Name

210 W. Pennsylvania Avenue

Address

Towson, MD 21204 (410) 832-2000

OFFICE USE ONLY

ESTIMATED LENGTH OF HEARING

unavailable for Hearing

the following dates 1 hr Next Two Months

ALL ☒ OTHER

REVIEWED BY: mjc DATE 8/2/95



ORDER RECEIVED FOR FILING
Date 8/2/95
By [Signature]

45

96-55-XA

Description

To Accompany Petition For Special Exception & Variance

1.4 Acre \pm Parcel

Charles P. & Violet Yolanda Juzelenos Property

East of Old Frederick Road and West of Rolling Road

First Election District

Baltimore County, Maryland



Daft McCune Walker, Inc.

200 East Pennsylvania Avenue

Towson, Maryland 21286

410 296 3333

Fax 296 4705

A Team of Land Planners,

Landscape Architects,

Engineers, Surveyors &

Environmental Professionals

Beginning for the same on the northwest side of Frederick Road (MD. Route 144 - 66 feet wide) at the end of the second of the two following courses and distances measured from the point formed by the intersection of the centerline of Thistle Road with the centerline of Frederick Road (MD. Route 144) (66 feet wide), (1) Southwesterly along the centerline of Frederick Road 114 feet \pm , thence leaving said centerline and running (2) Northwesterly 33 feet \pm , to the point of beginning, said point of beginning having a coordinate value of South 11,800 feet, more or less, and West 42,320 feet, more or less, said values being referred to the coordinate system established in the Baltimore County Metropolitan District, thence leaving said point of beginning and running the six following courses and distances, viz; (1) Northerly 340.00 feet, thence (2) Southeasterly 140.00 feet, thence (3) North 26 degrees 13 minutes 10 seconds East 53.00 feet \pm , thence (4) South 53 degrees 14 minutes 13 seconds East 117.00 feet \pm , thence (5) South 62 degrees 06 minutes 50 seconds West 80.00 feet, and thence (6) South 27 degrees 53 minutes 10 seconds East 100.00 feet to the Northwest side of Frederick Road (MD. Route 144 - 66 feet wide), thence binding on the Northwest side of Frederick Road the 3 following courses and distances, viz; (7) South 62 degrees 06 minutes 50 seconds West 183.73 feet, thence (8) South 68 degrees 31 minutes 00 seconds West 75.00 feet, and thence (9) South 68 degrees 51

minutes 00 seconds West 105.00 feet to the point of beginning. Containing 1.4 acres
of land, more or less.

96-55-XA

THIS DESCRIPTION HAS BEEN PREPARED FOR ZONING PURPOSES
ONLY AND IS NOT INTENDED TO BE USED FOR CONVEYANCE.

July 27, 1995

Project No. 94161.42



CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

96-55-XA

District 1st Date of Posting 9/2/95
Posted for: Special Exception & Variance
Petitioner: Charles & Violet Luzelonas & Ann, PCS, LP
Location of property: 2118 Frederick Rd, Nuth
Location of Signs: Facing roadway on property being zoned
Remarks: _____
Posted by M. H. Kelly Date of return: 9/8/95
Signature
Number of Signs: 1



CERTIFICATE OF POSTING
ZONING DEPARTMENT OF BALTIMORE COUNTY
Towson, Maryland

96-55-X

District _____

Date of Posting

10/27/95

Posted for: _____

Appeal

Petitioner: _____

Location of property: _____

2118 Frederick Rd., N.W.S

Location of Signs: _____

Facing roadway on property being appealed

Remarks: _____

Posted by _____

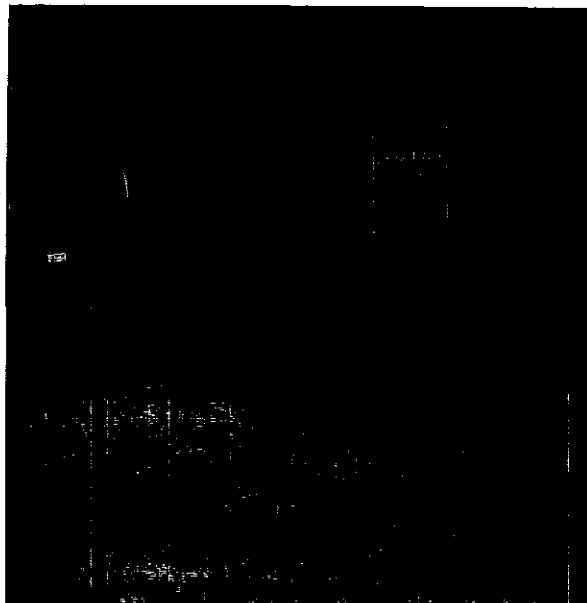
M. K. Kello
Signature

Date of return: _____

11/3/95

Number of Signs: _____

1



NOTICE OF HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County will hold a public hearing on the property identified herein in Room 106 of the County Office Building, 111 W. Chesapeake Avenue in Towson, Maryland 21204 or Room 118, Old Courthouse, 400 Washington Avenue, Towson, Maryland 21204 as follows:

Case: #96-55-XA
(Item 45)

2118 Frederick Road
NW/S Frederick Road at intersection of Thistle Road
1st Election District
1st Councilmanic

Legal Owner(s):

Charles P. Juzelerios
and Violet Yolanda
Juzelerios

Lessee:

American PCS, LP

Hearing: Monday,

September 18, 1995 at
11:30 a.m. in Rm. 118, Old
Courthouse.

Special Exception for a wireless transmitting and receiving facility. Variance to allow front, left side, right side, and rear setbacks of 109 feet, 114 feet, 84 feet, and 85 feet respectively for a wireless transmitting and receiving facility in lieu of the required 340 feet; and to allow a lot size of 1.4 acres in lieu of the required 5 acres.

LAWRENCE E. SCHMIDT
Zoning Commissioner for
Baltimore County

NOTES: (1) Hearings are handicapped accessible for special accommodations. Please call 887-3391.

(2) For information concerning the file and/or hearing, please call 887-3391.
8/332 Aug. 31.

CERTIFICATE OF PUBLICATION

TOWSON, MD.,

9/1

, 19 95

THIS IS TO CERTIFY, that the annexed advertisement was published in THE JEFFERSONIAN, a weekly newspaper published in Towson, Baltimore County, Md., once in each of 1 successive weeks, the first publication appearing on 8/31, 19 95.

THE JEFFERSONIAN,

A. Henrichson

LEGAL AD. - TOWSON

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 96-55-XA
004101

DATE 8/2/95 ACCOUNT 01-615

Item: 45
Taken By: MK

AMOUNT \$ 620.00

RECEIVED FROM: American PCS, L.P. - 2118 Federal R.E.

050 - Special Exception - \$ 300.00
020 - Variance - \$ 750.00
050 - 25125 - \$ 1.00
620.00

FOR:

0XAO3W1760MJCRC \$620.00
BA COLL:33AM08-02-95

VALIDATION OR SIGNATURE OF CASHIER

DISTRIBUTION
WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 96-55

DATE 10/20/95 ACCOUNT R001-6150

AMOUNT \$ 460.00

RECEIVED FROM: Whiteford TAYLOR + PRESTON

APPEAL DEPUTY ZONING COMMISSIONERS
DECISION FOR
FOR: PETITION FOR SPECIAL EXCEPTION AND VARIANCE

CASE # 96-55-XA

VALIDATION OR SIGNATURE OF CASHIER

DISTRIBUTION
WHITE - CASHIER PINK - AGENCY YELLOW - CUSTOMER

BALTIMORE COUNTY, MARYLAND
OFFICE OF FINANCE - REVENUE DIVISION
MISCELLANEOUS CASH RECEIPT

No. 075633

DATE 10/30/95 ACCOUNT 1001-6/50

AMOUNT \$ 160.00

RECEIVED WINTERKIND TAYLOR, PRESTON
FROM:

FOR: APPEAL DEPT. ZONING COMMISSIONERS
PETITION FOR SPECIAL EXCEPTION AND VARIANCE

CASE # 4655-XA

VALIDATION OR SIGNATURE OF CASHIER

DISTRIBUTION
WHITE - CASHIER

PINK - AGENCY

YELLOW - CUSTOMER

Date 10/13/95

Detail 41

File No. 3039/83

Name of File

Client Of CKM

Handled By SL

No. 18390

Amount 460.00

A/C No.

5042-95
10/16/95
Y

**WHITEFORD, TAYLOR & PRESTON
L.L.P.**

SEVEN SAINT PAUL STREET
BALTIMORE, MARYLAND 21202-1626
TELEPHONE 410 347-8700
FAX 410 752-7092

210 WEST PENNSYLVANIA AVENUE
TOWSON, MARYLAND 21204-4515
410 832-2000
FAX 410 832-2015

1025 CONNECTICUT AVENUE, NW
WASHINGTON, D.C. 20036-5405
TELEPHONE 202 659-6800
FAX 202 331-0573

CHRISTINE K. MCSHERRY
DIRECT NUMBER
410 832-2027

1317 KING STREET
ALEXANDRIA, VIRGINIA 22314-2928
TELEPHONE 703 836-5742
FAX 703 836-0265

October 13, 1995

Arnold Jablon, Director
Department of Zoning Administration
and Development Management
111 W. Chesapeake Avenue, Room 111
Towson, Maryland 21204

**Re: In Re: Petitions for Special Exception and Variance
NW/S Frederick Road at intersection with Thistle Road
(2118 Frederick Road)
Case No. 96-55-XA
Appellant - American PCS, L.P.**

Dear Mr. Jablon:

Enclosed please find our check in the amount of \$460.00 for an appeal of the decision of the Deputy Zoning Commissioner in the above-referenced case. Please note that we are appealing the Deputy Zoning Commissioner's decision on both the Special Exception and Variances requests. Also enclosed you will find our notice of this appeal for the benefit of the Board of Appeals and the opposing parties.

If you have any questions or require anything further for the filing of this appeal, please call me at the above telephone number. Thank you for your assistance with this matter.

Sincerely,

Christine K. McSherry

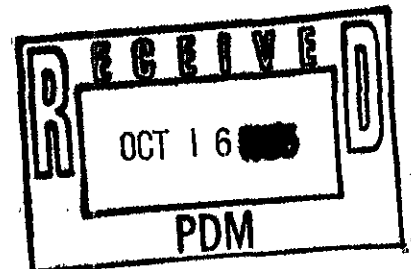
Christine K. McSherry

CKM:sll

Enclosures

cc: Board of Appeals for Baltimore County

60827



Baltimore County Government
Office of Zoning Administration
and Development Management

45



111 West Chesapeake Avenue
Towson, MD 21204

(410) 887-3353

ZONING HEARING ADVERTISING AND POSTING REQUIREMENTS & PROCEDURES

Baltimore County zoning regulations require that notice be given to the general public/neighboring property owners relative to property which is the subject of an upcoming zoning hearing. For those petitions which require a public hearing, this notice is accomplished by posting a sign on the property and placement of a notice in at least one newspaper of general circulation in the County.

This office will ensure that the legal requirements for posting and advertising are satisfied. However, the petitioner is responsible for the costs associated with these requirements.

PAYMENT WILL BE MADE AS FOLLOWS:

- 1) Posting fees will be assessed and paid to this office at the time of filing.
- 2) Billing for legal advertising, due upon receipt, will come from and should be remitted directly to the newspaper.

NON-PAYMENT OF ADVERTISING FEES WILL STAY ISSUANCE OF ZONING ORDER.

ARNOLD JABLON, DIRECTOR

For newspaper advertising:

Item No.: 45

Petitioner: AMERICAN PCS, L.P.

Location: #2118 FREDERICK ROAD

PLEASE FORWARD ADVERTISING BILL TO:

NAME: AMERICAN PCS, L.P. % GREG SARRO

ADDRESS: ONE DEMOCRACY DRIVE, STE. 600

6701 ROCKLEDGE DRIVE BETHESDA, MD. 20817

PHONE NUMBER: (301) 214-9200

AJ:ggs

(Revised 04/09/93)



Printed with Soybean Ink
on Recycled Paper

TO: PUTUXENT PUBLISHING COMPANY
August 31, 1995 Issue - Jeffersonian

Please forward billing to:

American PCS, L.P.
Margaret C. Ruggieri, Esq.
One Democracy Center, #600
6901 Rockledge Drive
Bethesda, MD 20817
301-214-9200

NOTICE OF HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing on the property identified herein in
Room 106 of the County Office Building, 111 W. Chesapeake Avenue in Towson, Maryland 21204
or
Room 118, Old Courthouse, 400 Washington Avenue, Towson, Maryland 21204 as follows:

CASE NUMBER: 96-55-XA (Item 45)
2118 Frederick Road
NW/S Frederick Road at intersection of Thistle Road
1st Election District - 1st Councilmanic
Legal Owner: Charles P. Juzelenos and Violet Yolanda Juzelenos
Lessee: Amrecian PCS, LP
HEARING: MONDAY, SEPTEMBER 18, 1995 at 11:30 a.m. in Room 118, Old Courthouse.

Special Exception for a wireless transmitting and receiving facility.
Variance to allow front, left side, right side, and rear setbacks of 109 feet, 114 feet, 84 feet, and 85 feet respectively for a wireless transmitting and receiving facility in lieu of the required 340 feet; and to allow a lot size of 1.4 acres in lieu of the required 5 acres.

LAWRENCE E. SCHMIDT
ZONING COMMISSIONER FOR BALTIMORE COUNTY

NOTES: (1) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL 887-3353.
(2) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, PLEASE CALL 887-3391.



Baltimore County
Department of Permits and
Development Management

Development Processing
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

August 25, 1995

NOTICE OF HEARING

The Zoning Commissioner of Baltimore County, by authority of the Zoning Act and Regulations of Baltimore County, will hold a public hearing on the property identified herein in Room 106 of the County Office Building, 111 W. Chesapeake Avenue in Towson, Maryland 21204 or Room 118, Old Courthouse, 400 Washington Avenue, Towson, Maryland 21204 as follows:

CASE NUMBER: 96-55-XA (Item 45)
2118 Frederick Road
NW/S Frederick Road at intersection of Thistle Road
1st Election District - 1st Councilmanic
Legal Owner: Charles P. Juzelenos and Violet Yolanda Juzelenos
Lessee: Amrecian PCS, LP
HEARING: MONDAY, SEPTEMBER 18, 1995 at 11:30 a.m. in Room 118, Old Courthouse.

Special Exception for a wireless transmitting and receiving facility.
Variance to allow front, left side, right side, and rear setbacks of 109 feet, 114 feet, 84 feet, and 85 feet respectively for a wireless transmitting and receiving facility in lieu of the required 340 feet; and to allow a lot size of 1.4 acres in lieu of the required 5 acres.

A handwritten signature in black ink, appearing to read "Arnold Jablon".

Arnold Jablon
Director

cc: Charles and Violet Juzelenos
American PCS, LP
Whiteford, Taylor & Preston

NOTES: (1) ZONING SIGN & POST MUST BE RETURNED TO RM. 104, 111 W. CHESAPEAKE AVENUE ON THE HEARING DATE.
(2) HEARINGS ARE HANDICAPPED ACCESSIBLE; FOR SPECIAL ACCOMMODATIONS PLEASE CALL 887-3353.
(3) FOR INFORMATION CONCERNING THE FILE AND/OR HEARING, CONTACT THIS OFFICE AT 887-3391.



Baltimore County
Department of Permits and
Development Management

Development Processing
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204

September 8, 1995

Christine K. McSherry, Esquire
Whiteford, Taylor & Preston
210 W. Pennsylvania Avenue
Towson, Maryland 21204

RE: Item No.: 45
Case No.: 96-55-XA
Petitioner: C. P. Juzelenos

Dear Ms. McSherry:

The Zoning Advisory Committee (ZAC), which consists of representatives from Baltimore County approval agencies, has reviewed the plans submitted with the above referenced petition, which was accepted for processing by Permits and Development Management (PDM), Zoning Review, on August 2, 1995.

Any comments submitted thus far from the members of ZAC that offer or request information on your petition are attached. These comments are not intended to indicate the appropriateness of the zoning action requested, but to assure that all parties (zoning commissioner, attorney, petitioner, etc.) are made aware of plans or problems with regard to the proposed improvements that may have a bearing on this case. Only those comments that are informative will be forwarded to you; those that are not informative will be placed in the permanent case file.

If you need further information or have any questions regarding these comments, please do not hesitate to contact the commenting agency or Joyce Watson in the zoning office (887-3391).

Sincerely,

A handwritten signature in black ink that reads "W. Carl Richards, Jr." The signature is written in a cursive, flowing style.

W. Carl Richards, Jr.
Zoning Supervisor

WCR/jw
Attachment(s)



BALTIMORE COUNTY, MARYLAND
I N T E R O F F I C E C O R R E S P O N D E N C E

TO: Arnold Jablon, Director DATE: Aug. 22, 1995
Zoning Administration and Development Management

FROM: Robert W. Bowling, P.E., Chief *RWB/DAK*
Development Plans Review Division

RE: Zoning Advisory Committee Meeting
for August 21, 1995
Item No. 045

The Developers Engineering Section has reviewed the subject zoning item. This site was the subject of a County Review Group (CRG) plan, which was approved on July 23, 1992. We feel that the CRG plan should be amended to add this tower to the site.

RWB:sw

BALTIMORE COUNTY, MARYLAND
DEPARTMENT OF ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT

INTER-OFFICE CORRESPONDENCE

TO: ZADM *Joyce Watson* DATE: 8/30/95
FROM: DEPRM
Development Coordination
SUBJECT: Zoning Advisory Committee *ZAC Comments*
Agenda: 8/14/95

The Department of Environmental Protection & Resource Management has no comments for the following Zoning Advisory Committee Items:

Item #'s: 43
44
45
46
48
49
51
53
54
4

LS:sp

LETTY2/DEPRM/TXTS8P



Maryland Department of Transportation
State Highway Administration

David L. Winstead
Secretary
Hal Kassoff
Administrator

8-8-95

Ms. Joyce Watson
Baltimore County Office of
Permits and Development Management
County Office Building, Room 109
Towson, Maryland 21204

RE: Baltimore County
Item No. 045 (MSK)

Dear Ms. Watson:

This office has reviewed the referenced item and we have no objection to approval as it does not access a State roadway and is not affected by any State Highway Administration projects.

Please contact Bob Small at 410-333-1350 if you have any questions.

Thank you for the opportunity to review this item.

Very truly yours,

Bob Small

for

Ronald Burns, Chief
Engineering Access Permits
Division

BS/es

My telephone number is _____

Maryland Relay Service for Impaired Hearing or Speech
1-800-735-2258 Statewide Toll Free

Mailing Address: P.O. Box 717 • Baltimore, MD 21203-0717
Street Address: 707 North Calvert Street • Baltimore, Maryland 21202

BALTIMORE COUNTY, MARYLAND

INTER-OFFICE CORRESPONDENCE

TO: Arnold Jablon, Director
Zoning Administration and
Development Management

DATE: August 8, 1995

FROM: Pat Keller, Director
Office of Planning and Zoning

SUBJECT: Petitions from Zoning Advisory Committee

The Office of Planning and Zoning has no comments on the following petition(s):

Item Nos. 26, 31, 32, 33, 34, 35, 36, 37, 38, 41, 43, 44, 45, 46, 48, 49, 50, 51,
53, and 54. ⁹

If there should be any further questions or if this office can provide additional
information, please contact Jeffrey Long in the Office of Planning at 887-3480.

Prepared by:

Jeffrey W. Long

Division Chief:

Cary L. Lewis

PK/JL

Baltimore County Government
Fire Department



700 East Joppa Road Suite 901
Towson, MD 21286-5500

(410) 887-4500

DATE: 08/08/95

Arnold Jablon
Director
Zoning Administration and
Development Management
Baltimore County Office Building
Towson, MD 21204
MAIL STOP-1105

RE: Property Owner: SEE BELOW

LOCATION: DISTRIBUTION MEETING OF AUGUST 14, 1995.

Item No.: SEE BELOW

Zoning Agenda:

Gentlemen:

Pursuant to your request, the referenced property has been surveyed by this Bureau and the comments below are applicable and required to be corrected or incorporated into the final plans for the property.

8. The Fire Marshal's Office has no comments at this time,
IN REFERENCE TO THE FOLLOWING ITEM NUMBERS: 43,44,45,46,48,49,50,
51,52,53 AND 54.

10

REVIEWER: LT. ROBERT P. SAUERWALD
Fire Marshal Office, PHONE 887-4881, MS-1102F

RECEIVED

AUG 11 1995

ZADM

cc: File

RE: PETITION FOR SPECIAL EXCEPTION * BEFORE THE
PETITION FOR VARIANCE *
2118 Frederick Road, NW/S Frederick Rd at * ZONING COMMISSIONER
intersection of Thistle Road, 1st *
Election District, 1st Councilmanic * OF BALTIMORE COUNTY

Legal Owner: Charles and Violet Juzelenos * CASE NO. 96-55-XA
Lessee: American PCS, LP *
Petitioners *

* * * * *

ENTRY OF APPEARANCE

Please enter the appearance of the People's Counsel in the above-captioned matter. Notice should be sent of any hearing dates or other proceedings in this matter and of the passage of any preliminary or final Order.

Peter Max Zimmerman

PETER MAX ZIMMERMAN
People's Counsel for Baltimore County

Carole S. Demilio

CAROLE S. DEMILIO
Deputy People's Counsel
Room 47, Courthouse
400 Washington Avenue
Towson, MD 21204
(410) 887-2188

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 13th day of September, 1995, a copy of the foregoing Entry of Appearance was mailed to Christine K. McSherry, Esquire, Whiteford, Taylor & Preston, 210 W. Pennsylvania Avenue, Suite 400, Towson, MD 21204, attorney for Petitioners.

Peter Max Zimmerman

PETER MAX ZIMMERMAN



Baltimore County
Department of Permits and
Development Management

Permits and Licenses
County Office Building
111 West Chesapeake Avenue
Towson, Maryland 21204
(410) 887-3900
Fax: (410) 887-2824

October 20, 1995

Mr. and Mrs. Roger Wehner
96 Rollingbrook Way
Catonsville, MD 21228

Ms. Mary Lou Beach
105 Hillside Road
Catonsville, MD 21228

Mr. Eugene L. Shaver
116 S. Hilltop Road
Catonsville, MD 21228

RE: Petition for Special Exception and
Variance
NW/S Frederick Road at its intersection
w/Thistle Road (2118 Frederick Road)
1st Election District
1st Councilmanic District
Charles P. Juzelenos, et ux
Petitioner
Case No. 96-55-XA

Dear Mr. and Mrs. Wehner, Ms. Beach, and Mr. Shaver:

Please be advised that an appeal of the above-referenced case was filed in this office on October 16, 1995 by Christing K. McSherry and Whiteford, Taylor, and Preston, L.L.P., on behalf of the Appellant, American PCS, L.P., by Margaret C. Ruggieri, Esquire. All materials relative to the case have been forwarded to the Baltimore County Board of Appeals, "Board".

If you have any questions concerning this matter, please do not hesitate to contact the Board at 887-3180.

Sincerely,

A handwritten signature in cursive script, appearing to read "Arnold Jablon".

ARNOLD JABLON
Director
Department of Permits and
Development Management

AJ:nmn

cc: Mr. and Mrs. Charles Juzelenos
Mr. Greg Sarro
Ms. Melanie Moser
Mr. Andrew Werchniak
People's Counsel

APPEAL

Petition for Special Exception and Variance
NW/S Frederick Road at its intersection
w/Thistle Road
(2118 Frederick Road)
1st Election District - 1st Councilmanic District
Charles P. Juzelenos, et ux-Petitioners
Case No. 96-55-XA

Petitions for Special Exception and Variance

Description of Property

Certificate of Posting

Certificate of Publication

Entry of Appearance of People's Counsel

Zoning Plans Advisory Committee Comments

Protestant(s) Sign-In Sheets

Petitioner's Exhibits: 1 - Site Plan to Accompany a Petition for Special
Exception and Variance (Not Marked as Exhibit)
2 - Environmental Impact Statement
3 - American Personal Communications Information Packet
4 - Site Ring Search Map and CJ Auto Report Map and
Information
5 - Graphics of Coverage Without Band
6 - Graphics of Coverage With Band

Protestant's Exhibits: 1 - One Photograph of Street

Seven Letters of Opposition

Deputy Zoning Commissioner's Order dated October 5, 1995 (Denied)

Notice of Appeal received on October 16, 1995 from Christing K. McSherry,
Esquire, Whiteford, Taylor and Preston, L.L.P. on behalf of American PCS, L.P.

cc: Mr. and Mrs. Charles Juzelenos, 2120 Frederick Road, Baltimore, MD 21228
Mr. Greg Sarro, American PCS, L.P., One Democracy Center, 6901 Rockledge
Drive, Bethesda, MD 20817
Ms. Melanie Moser, Daft-McCune-Walker, Inc., 200 E. Pennsylvania Avenue,
Towson, MD 21286
Mr. Andrew Werchniak and Ms. Debbie Meaney, c/o Moffit, Larson and Johnson,
1110 North Glebe Road, Suite 800, Arlington, VA 22201
Mr. and Mrs. Roger Wehner, 96 Rollingbrook Way, Catonsville, MD 21228
Ms. Mary Lou Beach, 105 Hillside Road, Catonsville, MD 21228
Mr. Eugene L. Shaver, 116 S. Hilltop Road, Catonsville, MD 21228
Christing K. McSherry, Esquire, Whiteford, Taylor and Preston, L.L.P., 210
West Pennsylvania Avenue, Towson, Maryland 21204-4515
People's Counsel of Baltimore County, M.S. 2010

Request Notification: Timothy M. Kotroco, Deputy Zoning Commissioner
Arnold Jablon, Director of PDM

/nmn

2/07/96 -Notice of Assignment for hearing scheduled for Tuesday, April 30, 1996,
at 10:00 a.m. sent to the following:

Christine K. McSherry, Esquire
Greg Sarro /American PCS, L.P.
Mr. & Mrs. Charles Juzelenos
Melanie Moser /Daft-McCune-Walker
Deborah Meaney and Andrew Werchniak
/Moffit, Larson and Johnson
Mr. & Mrs. Roger Wehner
Mary Lou Beach
Eugene L. Shaver
Stonewall Park Community Association
c/o Emily King
The Honorable Thomas E. Dewberry
Maryland House of Delegates
People's Counsel for Baltimore County
Pat Keller
Lawrence E. Schmidt
Timothy M. Kotroco
W. Carl Richards, Jr. /PDM
Docket Clerk /PDM
Arnold Jablon, Director /PDM

3/18/96 -Letter of withdrawal of appeal filed by Christine K. McSherry, Esquire,
on behalf of Petitioner. Order of Dismissal to be issued by Board.



County Board of Appeals of Baltimore County

OLD COURTHOUSE, ROOM 49
400 WASHINGTON AVENUE
TOWSON, MARYLAND 21204
(410) 887-3180

November 20, 1995

The Honorable Thomas E. Dewberry
Maryland House of Delegates
1002 Ingleside Avenue
Catonsville, MD 21228-1319

RE: Case No. CBA-96-55-XA
In the Matter of:
Charles P. Juzelenos, et ux

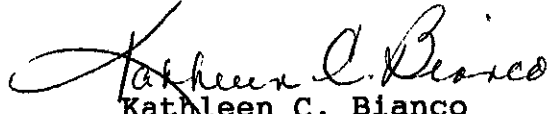
Dear Delegate Dewberry:

The Board is in receipt of your recent correspondence regarding the subject matter.

At the present time, this case is still pending before the Board, and a hearing date has not yet been assigned. However, we will include your name in the file for receipt of a copy of the Notice of Assignment for hearing and, also, upon issuance of same, a copy of the Board's final, written Opinion and Order.

Should you have any further questions about this particular case, or any other matter pending before the Board, please don't hesitate to contact me.

Very truly yours,


Kathleen C. Bianco
Administrative Assistant

cc: Christine K. McSherry, Esquire
Stonewall Park Community Association
c/o Emily King, President
People's Counsel for Baltimore County



file copy

THOMAS E. DEWBERRY
LEGISLATIVE DISTRICT 47B
BALTIMORE COUNTY

COMMITTEES.
APPROPRIATIONS
SUBCOMMITTEE ON CAPITAL BUDGET
SPECIAL OVERSIGHT SUBCOMMITTEE
ON PERSONNEL
CHAIRMAN
SUBCOMMITTEE ON PUBLIC SAFETY
AND ADMINISTRATION



HOUSE OF DELEGATES

ANNAPOLIS, MARYLAND 21401-1991

November 7, 1995

HOME ADDRESS:
1917 TADCASTER ROAD
CATONSVILLE, MARYLAND 21228-5108
(410) 744-2382

LEGISLATIVE OFFICE:
1002 INGLESIDE AVENUE
CATONSVILLE, MARYLAND 21228-1319
(410) 747-6080

ANNAPOLIS OFFICE:
304 LOWE HOUSE OFFICE BUILDING
ANNAPOLIS, MARYLAND 21401-1991
(TOLL FREE) (410) 841-3378

Chairman of the Board of Appeals
Baltimore County Office of Zoning
400 Washington Avenue, Room 49
Towson, Maryland 21204

Dear Sir or Madam:

96-55-XA

I am writing to add my voice to those of my constituents who are opposed to granting a permit to American Personal Communications to construct a 170 foot tower on a 1.4 acre site on Frederick Road in Catonsville.

At the present time there are two towers in the Western part of Catonsville, one behind the Walmart Store on North Rolling Road which has just been granted permission for an addition and one behind the Circuit City Store on the other side of the Route 40 and North Rolling Road intersection. My constituents and I are wondering just how many such towers will be needed to provide the communication services that we are currently using. The general consensus is that these towers are definitely unsightly and do not belong in residential neighborhoods. There is also the fear that since the site chosen for this particular monopole is much smaller than usually allotted, that objects may fall from the tower posing a danger to people in the neighborhood.

Another consideration that should discourage approval of this project is the fact that the site in question is just seven-eighths of a mile from the Benjamin Banneker Historic Site. It is my understanding that these communication towers cannot be located within a one mile radius of an historic site.

Finally, I feel that construction of this tower on the proposed site will result in a lowering of adjacent property values. This is certainly not consistent with my belief that we should strive to strengthen our older residential communities, not weaken them by merging commercial endeavors into residential areas.

I hope that you will take my concerns into account when deciding the fate of this community.

Sincerely,

Thomas E. Dewberry
Thomas E. Dewberry
Delegate - District 47B

jcs
cc: Stonewall Park Community Association

95169

PETITION PROBLEMS AGENDA OF

#44 --- RT

1. Need power of attorney for person signing for contract purchaser.
2. Who signed petition for attorney?

#45 --- MJK

1. Need power of attorney for person signing for contract purchaser.

#47--- JLL

1. Margaret Miller is trustee for who?
2. Need power of attorney for Margaret Miller, trustee.
3. Leonard Miller is trustee for who?
4. Need power of attorney for Leonard Miller, trustee.
5. Need telephone numbers for all legal owners.

#50 --- JLL

1. Notary section is incomplete.

#51 --- JCM

1. Notary section is incomplete.

#52 --- JJS

1. No item number on receipt.
2. No city, state, or zip code for legal owner.

#53 --- JJS

1. No zoning indicated on petition form.

BALTIMORE COUNTY, MARYLAND
Inter-Office Memorandum

DATE: August 2, 1995

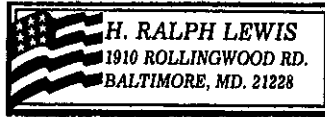
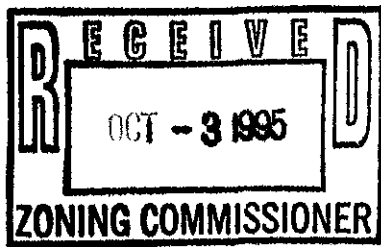
TO: Hearing Officer

FROM: Mitchell J. Kellman
Planner II, PDM

SUBJECT: Item #45
2118 Frederick Road

The petitioner requests a variance for 1.4 acres in lieu of 5; however, the acreage has a use operating which utilized part of the 1.4 acres. Section 102.2 states that the yard space on one building may not be utilized as yard space for another. The requested acreage of 1.4 may be less. Office policy requires a zoning use restriction line for separate principal buildings on one property. I advised the petitioner accordingly.

MJK:scj



1
Jm
9/18

Sept. 29, 1995

ZONING Commissioner

Re: CASE # 96-55 XA

Dear Sir.

I wish to register a protest vote against the proposed installation of a monopole on FREDERICK ROAD, NEAR MONMOUTH ROAD in CATONSVILLE.

First - such a structure will be unsightly in our neighborhood

Secondly - it will not enhance the property values but, if anything, be a hindrance to the values and a detriment when selling.

It is my urgent request this variance be disallowed.

Thank You.

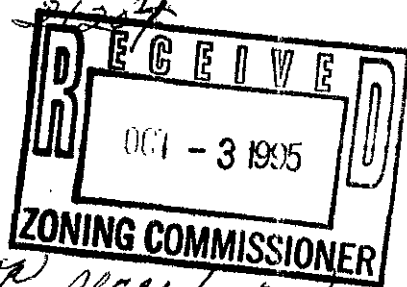
H. Ralph Lewis -

44-1

1918 Tadenster Rd.
Catonsville Md 21228
September 29, 1995

Zoning Commissioner
400 Washington Avenue
Room 112, Towson Md. 21204

Dear Sir —



I want to be put on record as
objecting to the microwave tower
proposed to be built on Frederick
near Morewick Avenue.

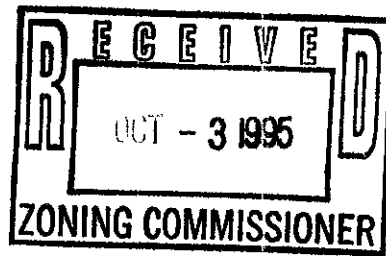
We bought this house over 30
years ago because we wanted to
live in a nice residential area. The
tower would be an ugly addition
to the landscape that none of us
or our neighbors need. We also are
not sure of the hazards that the
microwaves might present.

Please be considerate of all
the residents of the Fellingwood area
who keep up a pleasant neighborhood
& want to keep it that way.

Sincerely, (Alex S. Cook)

2009 Helmsby Road
Catonsville, MD 21228
September 29, 1995

Zoning Commission
Room 211
400 Washington Avenue
Towson, Maryland 21204



To Whom it May Concern:

This letter is to voice my objection to the proposal to build a telecommunication tower on Frederick Road west of Monmouth Road. I feel that such construction will change the nature of our nice neighborhood. Our community is mostly residential.

This tower will certainly not enhance old Catonsville.

Sincerely,

Erma Simon

September 29, 1995

2 Philbar Ct.

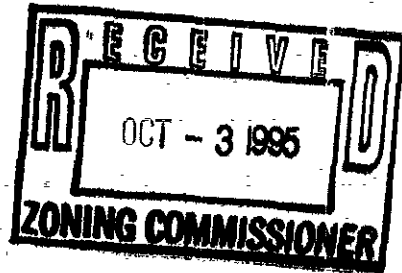
Catonsville, MD 21228

Zoning Commissioner

400 Washington Ave.

Room 112

Towson, MD 21204



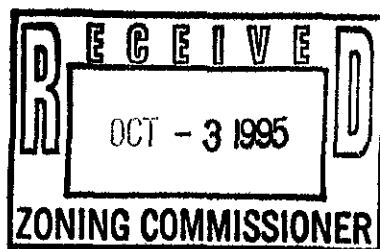
Dear Sir:

I am opposed to the planned monopole on
Frederick Road in Catonsville. Not only will
it be unsightly but who knows what hazard
this might present.

Yours truly,

Stephanie L. Young

File



Sept 28, 1995

Baltimore County Zoning Board
Mr Timothy Kotrocho
400 Washington Ave
Towson Md. 21204

Subject Case 965XA

Dear Mr Kotrocho:

This letter is to voice our strong objection to the building of a 170 foot high tower in the middle of a residential neighborhood off Frederick Rd west of Monmouth Rd in Catonsville. We understand this variance in zoning requirements is being requested by American Personal Communications.

The area around this location is almost 100% residential single family homes. The only commercial buildings in the area have all been there for many years and are "grandfathered" into the zoning. Further these businesses are not a tenth as objectional as the proposed 170 ft tower. These businesses are also positioned further away away from the residential area then this tower would be.

We ask that you reject this request for a special exception variance. Prevention of this kind of infringement of commercial activity into residential communities is exactly the reason zoning requirements exist.

Thank you for your consideration.

Juel Wessel 1922 Lismore La.

Peggy Oesel 1922 Lismore La

Cecilia Steinacker 1917 Lismore Lane

Margaret Lynne Lee 1924 Lismore Lane

Juel McMillen 231 Rollingbrook Way

FAX TO NUMBER

Catonsville Occupational Training Center

Office: (410) 455-4544 Fax: (410) 455-4937

FAXED TO NUMBER: 887 3468

DATE: 9/29/95

TO (PERSON): Timothy Kotrko

COMPANY: Balto Co

CITY: Towson

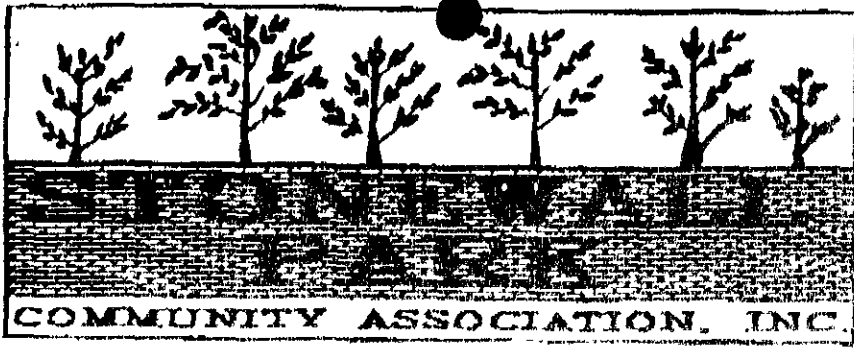
SENDER'S NAME: Emily King

SENDER'S PHONE NUMBER: 744 4130

NUMBER OF PAGES BEING 4
TRANSMITTED (excluding cover sheet):

COMMENTS:

Protestants;
C.J. Auto Shop - Monopole
ACP



September 29, 1995

Mr. Timothy Kotroko, Zoning Commissioner
Baltimore County
Towson, Maryland 21204

Dear Mr. Kotroko:

The Stonewall Park Community Association was recently informed by Mr. Bill Huey, that a special exception variance has been requested by C. J.'s Auto Shop to erect a monopole on property which they intend to lease to American Personal Communications. At a recent Board of Directors meeting, after polling a large body of the community association members, it was unanimously agreed that the association is in strong opposition to this variance. Members of our association and Board of Directors attended the zoning hearing on September 18th and testified to their opposition.

The Stonewall Park Community Association opposes this exception for the following reasons:

1. Most importantly, this area is zoned for residential occupancy and consists of homes valued between \$140,000 and \$280,000. The proposed structure is not compatible with a residential area. These types of structures typically are located in dense, business areas or on farms, isolated from residential communities. The homeowners feel strongly that this monopole will negatively effect the value of their properties. Aesthetically, a structure such as this one, will be in the direct view of the many homeowners, much to their dislike. C. J.'s Auto Shop is located on property which is nonconforming to the zoning regulations, but was granted a special exception many years ago.
2. C. J.'s Auto Shop is located directly on Frederick Road which is a scenic route as designated by Baltimore County. This road is the main road into Historic Catonsville, Historic Ellicott City and will be used for the Banneker Park, currently being planned. Baltimore County should maintain this route as scenic and a 170 foot monopole certainly would not be considered scenic.
3. Current zoning requires 5 acres of land and a 340 foot setback. The site in question only allow 1.4 acres and a 170 foot setback (at best). This is a potential hazard to residents and motorists traveling on Frederick Road as well as to the 100+ children living within 1 mile of this site. This is a normal route used by aircraft at BWI and the Medevac as observed by area residents. A structure 170 feet in the air, without lights, will surely present a potential hazard to all aircraft. The structure, with lights, would be very disruptive to the many residents of the neighboring communities.

Mr Timothy Kotroko

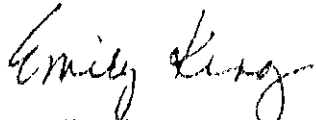
September 29, 1995

Page Two

- 4 Finally, there are many alternative sites where American Personal Communications could erect their monopole which are currently zoned for commercial purposes. Specifically, Edmondson Avenue and Dutton Avenue, Old Frederick Road and N Rolling Road (site of existing tower), Route 40W and N Rolling Road (site of existing tower) and at the end of N Hilltop Road (site of existing tower)

We greatly appreciate your consideration of the objections of the many property owners and taxpayers who will be detrimentally effected by this structure. It is unfair that American Personal Communications prosper at the expense of the taxpayers.

Sincerely,



Emily King, President

Stonewall Park Community Association, Inc

Attachment Stonewall Park Community Association
Members

Stonewall Park Community Association

July 25, 1995 -- 63 1995 Members

President: Emily King
Vice Pres.: Lynn Barranger
Secretary: Donna Lindner
Treasurer: John Maynard
Board Member: Joe Hellman
Newsletter: Barbara Svoboda

Yr	Wk Phone	Hm Phone	Devere Lane	
95	252-8100	788-7748	Elizabeth & Walter Messick	2019 Devere Lane
	444-0525			
95		744-0278	Donald H. &	2025 Devere Lane
			M. Patricia Seitz	
95		744-1968	Marylyn Forte &	2027 Devere Lane
			Michael Ratson	
95		744-6749	Jeannette & Richard Kehs	2031 Devere Lane
94			Patty Hoke	2033 Devere Lane
95	393-8133	744-0856	Gwen & John Watts	2035 Devere Lane
95	744-0931	747-8289	Joan & Victor McFarland	2109 Devere Lane
95	965-7146	744-4130	Emily & Walter King	2113 Devere Lane
95	966-3649	788-1861	Nancy Anne Null	2114 Devere Lane
95	578-4801	455-0933	Donna & Brian Lindner	2120 Devere Lane

Hillside Road				
95	368-2240	788-6074	Carter L. Huff, Jr.	80 Hillside Road
95	244-8112	788-4297	Patricia & William Macgill	93 Hillside Road
95		744-6592	Patricia & Donald Beavers	95 Hillside Road
95		747-6686	Michael J. Saverno	99 Hillside Road
			& Lisa Hargreaves	
96		744-9174	Mildred Perkinson	101 Hillside Road
95	455-4515	747-3870	Wm & Mary Beach	105 Hillside Road
96	887-1227	744-0329	Rachel & David Leasure	107 Hillside Road
95	528-7515	788-3397	Merilyn & Ralph Blomster	108 Hillside Road
95	225-4390	747-1078	Joe & Cass Hellman	109 Hillside Road
95		744-5931	Kathleen & Rudolph Linde	111 Hillside Road
94	332-8429J	747-0278	Velia & Joseph Severino	114 Hillside Road
95	225-1314	744-1403	Carol & Joseph Suarez	116 Hillside Road
95	455-0875	747-0636	Mary Ellen &	117 Hillside Road
			James O'Donnell	
95			Bowersox, Elizabeth	118 Hillside Road
				120 Hillside Road
95	286-8205	744-1505	Kathleen & Robert Callens	121 Hillside Road

Old Frederick Road				
95	788-5600	747-7561	Jack & Sue Wilson	2215 Old Frederick
95		744-9269	Richard &	2217 Old Frederick
			Gloria Dzingaleski	2219 Old Frederick
95		788-2346	Iris & Henry Winters	2221 Old Frederick
95		744-1430	Ethel & Frank Lantini	2301 Old Frederick
95	625-5678	744-2848	Judy Snyder &	2303 Old Frederick
			John W. Maynard	
95		744-6157	Maria & Ted Tasony	2305 Old Frederick
95		747-3973	Rita & Roland Doxzon	2307 Old Frederick
95		744-8834	Judy & Richard Thomas	2315 Old Frederick
95	879-2000	747-5277	Linda & Bob Ernst	2321 Old Frederick
94		788-8456	C. Lynn Barranger & Tim Camahan	2408 Old Frederick

95		747-2672	Catherine Feyes	2409 Old Frederick
95	992-7354	744-2562	Catherine M. Lochary	2410 Old Frederick
95		744-6241	Terri & Bill Chu	2419 Old Frederick
			Douglas Cleland	
			Michel & Matthew Caldwell	
	Longview Drive			
95	410 385-0790	747-6175	Wisner, Deborah & Roger (Sandy)	112 Longview Drive
95	965-4690c	455-0807	Cindy & Tom Pender	116 Longview Drive
95		788-6992	Deborah L. & Danny B. Cochran	123 Longview Drive
				125 Longview Drive
95		788-2761	Barbara A. Szoboda	127 Longview Drive
			McGregor J. Yatskevitch	
95	455-4576	747-9350	Mary & Frank Kutcher	136 Longview Drive
95	301 497-6640J	747-8422	Fevia A. & Janet R. Weber	138 Longview Drive
95		788-1264	Linda K. Lemmerman	140 Longview Drive
				142 Longview Drive
95		744-1456	Anita & Umberto Boer	143 Longview Drive
95		744-0319	Henry (Hank) DeBaugh	145 Longview Drive
95		747-5814	Edna & Edwin Zimmerman, Jr.	146 Longview Drive
95		744-0428	Margaret &	147 Longview Drive
			Louis Hamilton, Sr.	
95	338 0711	747-2510	Gerron A. &	149 Longview Drive
			Margaret J. Stuart	
94	539 4256w	788-5019	Marihelen &	150 Longview Drive
			Rob Johnson	
95		744-1139	Valerie Schenella	151 Longview Drive
95		744-3708	Primo & Elisa Ann China	152 Longview Drive
	Stonewall Road			
95		747-4522	Marlene & John Logan	112 Stonewall Road
95	747-7500	747-1873	John Koenig &	114 Stonewall Road
			Mary E. Newberger	
				115 Stonewall Road
95		788-3367	Thomas B. Lemmerman	117 Stonewall Road
95		747-4990	Katharine M. Lemmerman	119 Stonewall Road
95	242-0077	744-2060	Lee Ann & Stephen Spindler	210 Stonewall Road
95	188-0430	744-3824	Janice & Omar S. Jennings	211 Stonewall Road
95		788-2753	Carol A. & W. E. Fordham	220 Stonewall Road
	Taunton Ave			
95		744-0406	Margery C. &	194 Taunton Ave
			Martin Braun, Jr.	
				109 Taunton Ave
95		744-7893	Aidem & Fritz Kohler	110 Taunton Ave
95	944-9550	747-1994	Mrs. Mary A. Whitehead	111 Taunton Ave
94	825-0041	788-8019	Charles L. Whitfield	112 Taunton Ave
95		747-7254	Linda & Richard Zandier	118 Taunton Ave
95		747-5235	Ann & Bill Foley	125 Taunton Ave
94	768-2828	747-4133	William & Debra Montgomery, Jr.	128 Taunton Ave

PLEASE PRINT CLEARLY

Exhibit Sheet

96-55-XA

~~PETITION STATION IN QUEBEC~~

NAME

Petitioner(s)

- ① Information Packet
Site Plan

② ~~Information Packet~~

③ Information Packet

④ Site Ring Search
Map

⑤ Graphs of Garage Without Band

⑥ Graphs of Garage With Band
BAN 72 - CJ Auto Repair

ADDRESS

Protestant(s)

- ① Photo of Street

PLEASE PRINT CLEARLY

Protestant(s)
~~PETITIONER(S)~~ SIGN-IN SHEET

NAME

ADDRESS

MILTON R. LAUG
* EUGENE L. SHAVER
Rudolph Berg
* Mary Lou Beach
JOSEPH L. HELLMAN
* Michele A. Wehner
ROGER WEHNER

202 S. HILLTOP RD 21228
116 S. HILLTOP RD 21228
116 Woodwind Rd. 21228
105 Hillside Rd 21228
109 Hillside Road 21228
96 Rollingbrook Way 21228
96 ROLLINGBROOK WAY 21228



Petitioner's Exhibit
4

**LIST OF PROPERTY OWNERS CONTACTED
IN CONNECTION WITH CJ AUTO REPAIR
2118 FREDERICK ROAD**

Five Oaks Swimming Pool

Parcel Number 436
Owners Name Five Oaks Swimming Pool, Inc
Property Address Frederick Road
Baltimore, MD 21228
Acreage 3.8702

Spoke to the owner of Five Oaks Swimming Pool who stated that he was not interested in leasing to APC.

Candle Light Inn:

Parcel Number 437
Owners Name Candle Light Investments, Inc.
Property Address 1835 Frederick Road
Baltimore, MD
Acreage 6.208 acres

Spoke to General Manager Harry Blank who stated that Mr. Franco, owner of Candle Light Investments is not interested in leasing to APC.

Parcel 447

Owners Name Lawrence and Patricia Oneill
Property Address 1943 Frederick Road
Baltimore, MD
Acreage 2.16 acres

Patricia Oneill stated that neither she nor her husband are interested in leasing to APC.

Parcel 451
Parcel 452
Parcel 677

Owners Name	James Coroneos
Property Address	2205 Frederick Road Baltimore, MD
Acreage	2.482 acres

Mr. Coroneos is not interested in leasing to APC because he intends to remove the existing three buildings on his property and construct a shopping center. He stated that his engineers have not finalized a plan for the shopping center and therefore would not be able to delineate a location for a monopole.

Ridgeways

Parcel Number	Small BL parcel located one mile to the west of Rolling Road
Owners Name	Jim Roberts
Property Address	2302 Frederick Road Baltimore, MD
Acreage	Exact acreage is not listed in tax records

Spoke to Jim Roberts, owner of Ridgeways, who has an exclusive lease with, Michael Edwards, the owner of the property. Mr. Roberts is not interested in leasing to APC.

Knights of Columbus

Parcel Number	496
Owners Name	Stagco Corporation
Property Address	2021 Frederick Road Baltimore, MD
Acreage	3.52 acres

Spoke to President, Tom O'Brien, the Knights of Columbus are not interested in leasing to APC.

Parcel 680

Owners Name	Brady Edgar R and Ramona M
Property Address	1 Thistle Road Baltimore, Maryland 21228
Acreage	8.330 acres

Spoke to Ms. Ramona M. Brady. She and her husband are not interested in leasing space to APC. They have been approached by satellite companies in the past and have rejected offers to lease space to these companies and they remain uninterested in such a proposal.

Parcel 994

Property Owners	Mildred L, Steven A. and David P Myers
Property Address	18 South Morerick Avenue Baltimore, MD
Acreage	1.82 acres

Spoke to Mildred Myers and she is not interested in leasing to APC.

St. Paul Lutheran Church

Parcel Number 490

Owners name Vestry of the Bishop Cummins
Memorial Church

Property Address 2001 Frederick Road
Baltimore MD

Acreage 2.765 acres

Pastor Northolwin stated that they cannot lease to APC because they don't have sufficient space.

Protect Ex #1

96-55-XA



Case 96-55-XA

Protestant's
Exhibit 1
(photograph)

PETITIONER'S EXHIBIT 2

Environmental Impact Statement

American Personal Communications Frederick Road Site

September 1995
Project No. 94161.42

Prepared for:
American PCS, L.P.
One Democracy Center
Suite 600
6901 Rockledge Drive
Bethesda, MD 20817



Prepared by:
Daft-McCune-Walker, Inc.
200 East Pennsylvania Avenue
Towson, Maryland 21286



**American Personal
Communications**

PETITIONER'S EXHIBIT 3

Case No: 96-54-X, Item No. 44
Case No: 96-55-XA, Item No. 45

AMERICAN PERSONAL COMMUNICATIONS (APC)
HEARING BEFORE THE BALTIMORE COUNTY
ZONING COMMISSIONER
September 18, 1995

TABLE OF CONTENTS

1. Photographs of 6800 Liberty Road
2. Lease Agreement with City Partners Ltd.
3. Photographs of 2118 Frederick Road
4. Lease Agreement Yolanda Juzelenos
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6. Photograph and Specification Sheets for Equipment Cabinets
7. FCC License
8. FCC Adopts ANSI EMF Regulations
9. Radio Frequency Statement - Jules Cohen
10. FCC Statement on PCS - Creating Significant Benefits for Consumers and Business
11. FCC's Chairman, Reed Hundt, Speech Excerpts

IN THE MATTER OF	*	BEFORE THE
THE APPLICATION OF		
CHARLES P. JUZELENOS, ET UX	*	COUNTY BOARD OF APPEALS
FOR SPECIAL EXCEPTION AND		
VARIANCES ON PROPERTY LOCATED	*	OF
ON THE NORTHWEST SIDE OF		
FREDERICK ROAD AT ITS INTER-	*	BALTIMORE COUNTY
SECTION WITH THISTLE ROAD		
(2118 FREDERICK ROAD)	*	CASE NO. 96-55-XA
1ST ELECTION DISTRICT		
1ST COUNCILMANIC DISTRICT	*	

* * * * *

ORDER OF DISMISSAL

This matter comes to this Board on appeal from a decision of the Deputy Zoning Commissioner dated October 5, 1995 in which the Petition for Special Exception and Petition for Variances were DENIED.

WHEREAS, the Board is in receipt of a letter of dismissal of appeal filed by Christine K. McSherry, Esquire, on behalf of American PCS, L.P., Appellant /Petitioner, filed March 18, 1996 (a copy of which is attached hereto and made a part hereof); and

WHEREAS, said Counsel for Appellant requests that the appeal filed in this matter be dismissed as of March 18, 1996;

IT IS HEREBY ORDERED this 20th day of March, 1996 by the County Board of Appeals of Baltimore County that said appeal be and the same is hereby DISMISSED.

COUNTY BOARD OF APPEALS
OF BALTIMORE COUNTY


Charles L. Marks, Acting Chairman


Margaret Worrall


Harry E. Buchheister, Jr.

WHITEFORD, TAYLOR & PRESTON
L.L.P.

SEVEN SAINT PAUL STREET
BALTIMORE, MARYLAND 21202-1626
TELEPHONE 410 347-8700
FAX 410 752-7092

210 WEST PENNSYLVANIA AVENUE
TOWSON, MARYLAND 21204-4515
410 832-2000
FAX 410 832-2015

1025 CONNECTICUT AVENUE, NW
WASHINGTON, D.C. 20036-5405
TELEPHONE 202 659-6800
FAX 202 331-0573

CHRISTINE K. MCSHERRY
DIRECT NUMBER
410 832-2027
2038958@mcimail.com

1317 KING STREET
ALEXANDRIA, VIRGINIA 22314-2928
TELEPHONE 703 836-5742
FAX 703 836-0265

March 14, 1996

Ms. Kathleen C. Bianco
County Board of Appeals of Baltimore County
Old Courthouse, Room 49
400 Washington Avenue
Towson, Maryland 21204

Re: Case No. 96-55-XA
Appeal from Decision of Zoning Commissioner
In Regard to 2118 Frederick Road

Dear Ms. Bianco:

Please dismiss the appeal that we filed previously in this matter. Appellant no longer wishes to pursue this appeal and would like to withdraw the Notice of Appeal previously filed. Please convey our request to the Board of Appeals so that this case might be dismissed.

If you have any questions, please feel free to call me.

Sincerely,

Christine K. McSherry

Christine K. McSherry

CKM:dpp
72831

cc: Mr. Greg Sarro
Mr. and Mrs. Charles P. Juzelenos
Ms. Melanie Moser
Ms. Deborah Meaney

55 MAR 16 PM 1:40



County Board of Appeals of Baltimore County

OLD COURTHOUSE, ROOM 49
400 WASHINGTON AVENUE
TOWSON, MARYLAND 21204
(410) 887-3180

March 20, 1996

Christine K. McSherry, Esquire
WHITEFORD, TAYLOR & PRESTON
500 Court Towers
210 W. Pennsylvania Avenue
Towson, MD 21204-4515

RE: Case No. 96-55-XA
Charles P. Juzelenos, et ux

Dear Ms. McSherry:

Enclosed please find a copy of the Order of Dismissal issued
this date by the County Board of Appeals of Baltimore County
in the subject matter.

Very truly yours,

Kathleen C. Bianco
Kathleen C. Bianco
Administrative Assistant

encl.

cc: Christine K. McSherry, Esquire
Greg Sarro /American PCS, L.P. /Contract Lessee
Mr. & Mrs. Charles Juzelenos /Property Owners
Melanie Moser /Daft-McCune-Walker
Deborah Meaney and Andrew Werchniak
/Moffit, Larson and Johnson
Mr. & Mrs. Roger Wehner
Mary Lou Beach
Eugene L. Shaver
Stonewall Park Community Association
c/o Emily King
The Honorable Thomas E. Dewberry
Maryland House of Delegates
People's Counsel for Baltimore County
Pat Keller
Lawrence E. Schmidt
Timothy M. Kotroco
W. Carl Richards, Jr. /PDM
Docket Clerk /PDM
Arnold Jablon, Director /PDM



IN RE
PETITION FOR SPECIAL EXCEPTION
AND VARIANCE

NW/S Frederick Road at intersection
with Thistle Road (2118 Frederick Rd)

FIRST ELECTION DISTRICT
FIRST COUNCILMANIC DISTRICT
BEFORE THE DEPUTY ZONING
COMMISSIONER OF BALTIMORE
COUNTY

CASE NO. 96-55-XA

BOARD OF APPEALS
APPEAL NO.

* * * * *

NOTICE OF APPEAL

Appellant, American PCS, L.P., by Margaret C. Ruggieri, Esquire, through their attorney,
Christine K. McSherry and Whiteford, Taylor & Preston, L.L.P., hereby notifies all interested parties of
its request to appeal the decision of the Deputy Zoning Commissioner in the above-captioned matter.
The Petitioners in this matter are American PCS, L.P., and Charles P. and Violet Yolanda Juzelenos.
Their addresses are:

American PCS, L.P.
One Democracy Center
6901 Rockledge Drive
Bethesda, Maryland 20817

Charles P. and Violet Yolanda Juzelenos
2120 Frederick Road
Baltimore, Maryland 21228

Respectfully submitted,

Christine K. McSherry
Christine K. McSherry
Whiteford, Taylor & Preston L.L.P.
210 West Pennsylvania Avenue
Towson, Maryland 21204-4515
(410) 832-2000
Attorney for Appellant

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that on this 13th day of October, 1995, a copy of the foregoing Notice of Appeal was mailed first class, postage prepaid to:

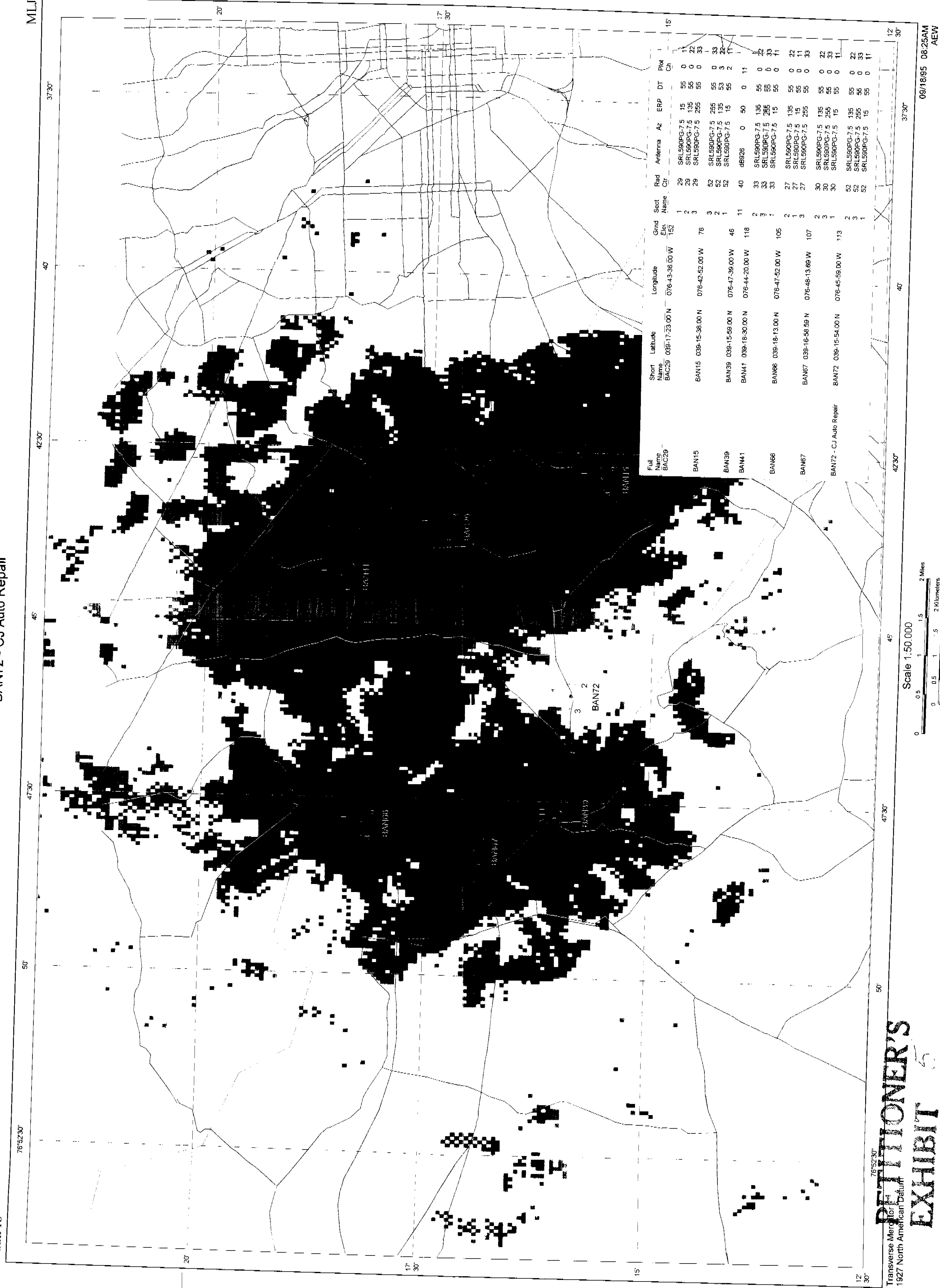
Timothy M. Kotroco, Deputy Zoning Commissioner
Office of Planning & Zoning
Old Court House, Room 112
400 Washington Avenue
Towson, Maryland 21204

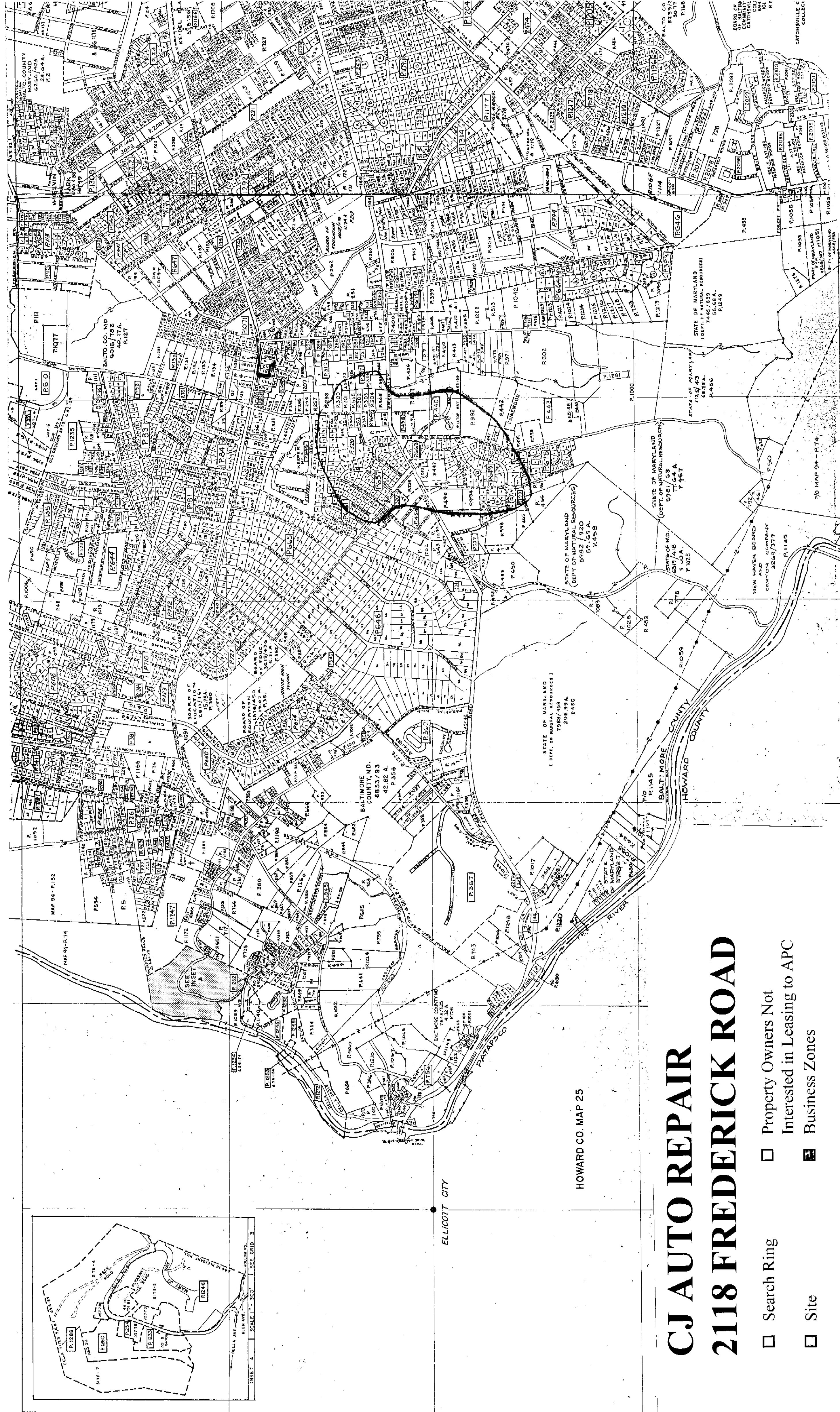
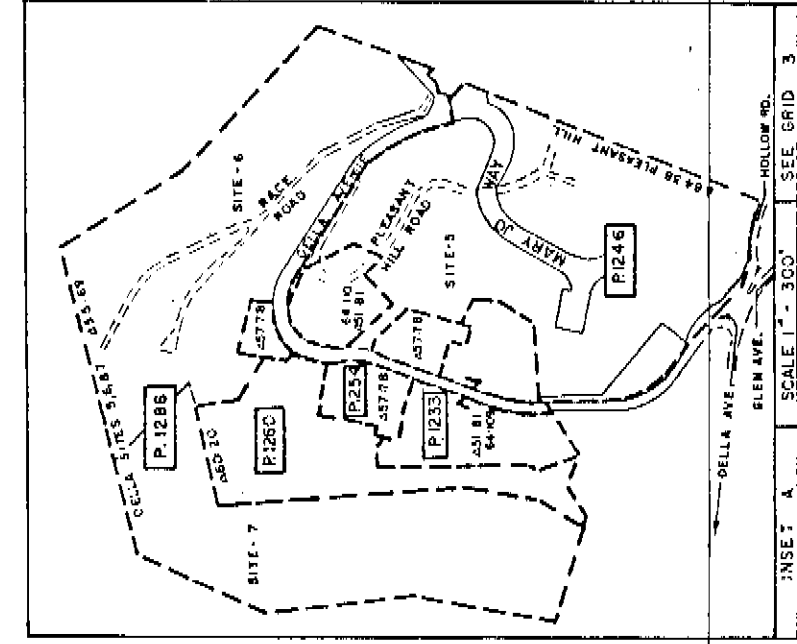
Mr. and Mrs. Roger Wehner
96 Rollingbrook Way
Catonsville, Maryland 21228

Ms. Mary Lou Beach
105 Hillside Road
Catonsville, Maryland 21228

Mr. Eugene L. Shaver
116 S. Hilltop Road
Catonsville, Maryland 21228

Christine K. McSherry
Christine K. McSherry

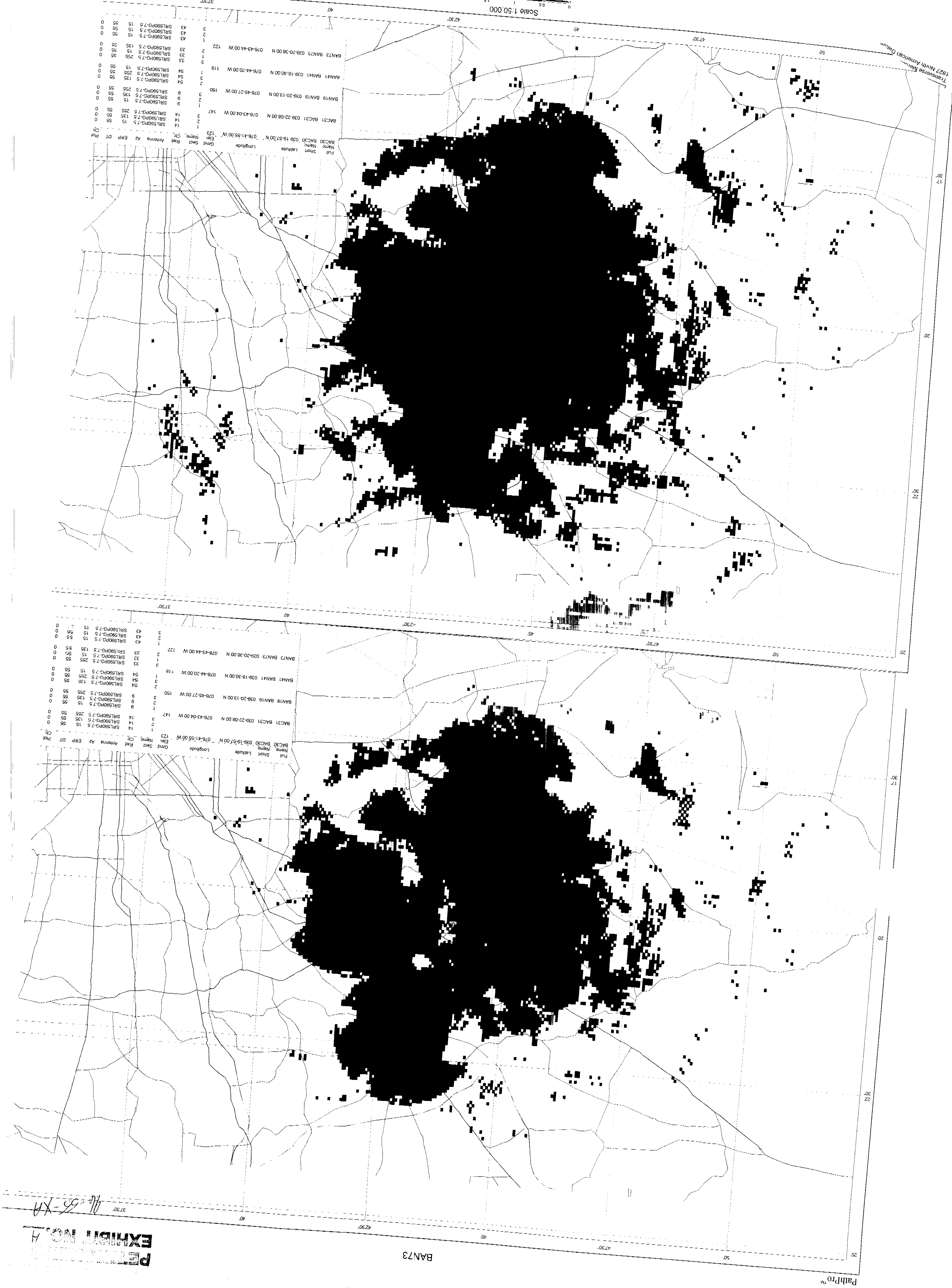




CJ AUTO REPAIR

2118 FREDERICK ROAD

- ☐ Search Ring
- ☐ Site
- ☐ Property Owners Not Interested in Leasing to APC
- ☒ Business Zones



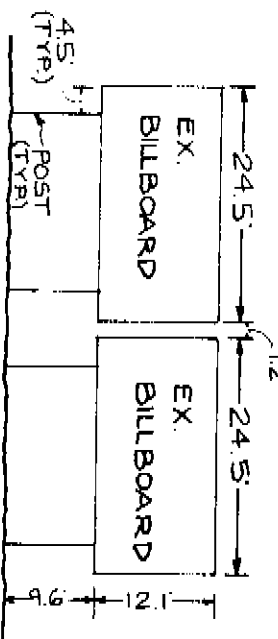
THERE SHALL BE NO CLEARING, GRADING, OR CONSTRUCTION OF ANY KIND OR REMOVAL OF VEGETATION IN THE FOREST BUFFERING EXCEPT AS PERMITTED BY DEPRM.

SITE PLAN

Scale 1"=30'

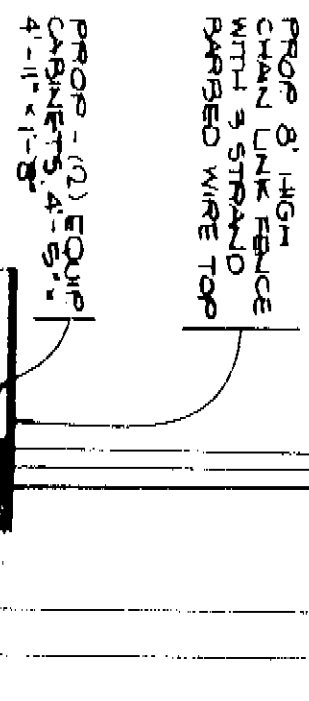
SIGN DETAIL

Scale 1"=20'



MONOPOLE ELEVATION

N T S



Requested Zoning Action

#45

PRINTED

AUG 1 1995

DRAFTING: WALKER, INC.



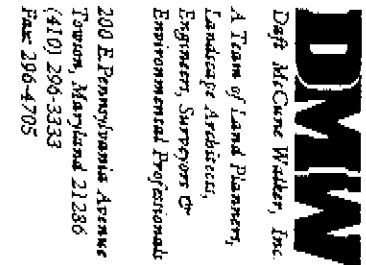
American Personal Communications

Site Plan to Accompany Petition for Special Exception and Petition for Variances

Frederick Road Site BAN 72

1st Election District

Baltimore County, Maryland

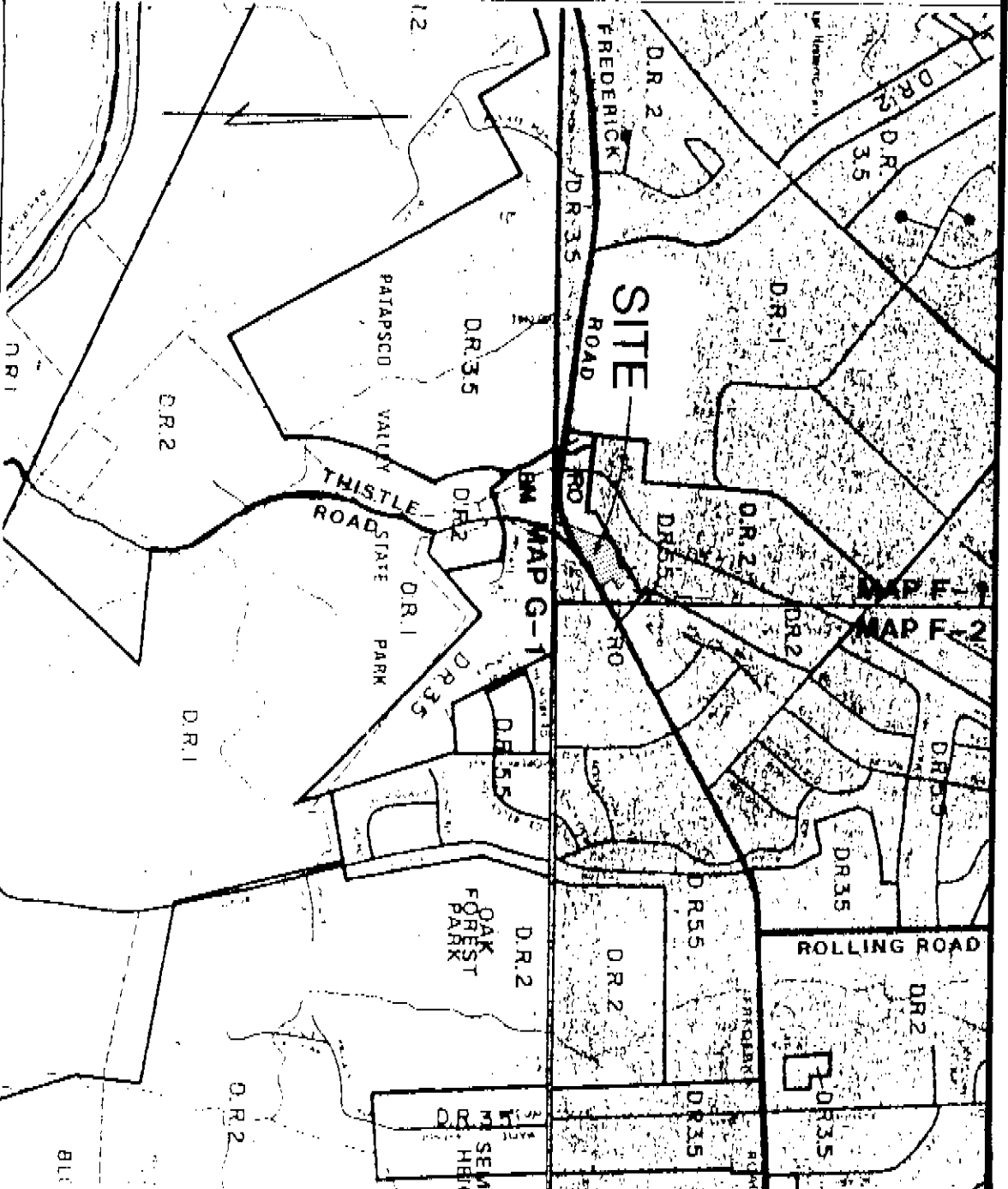
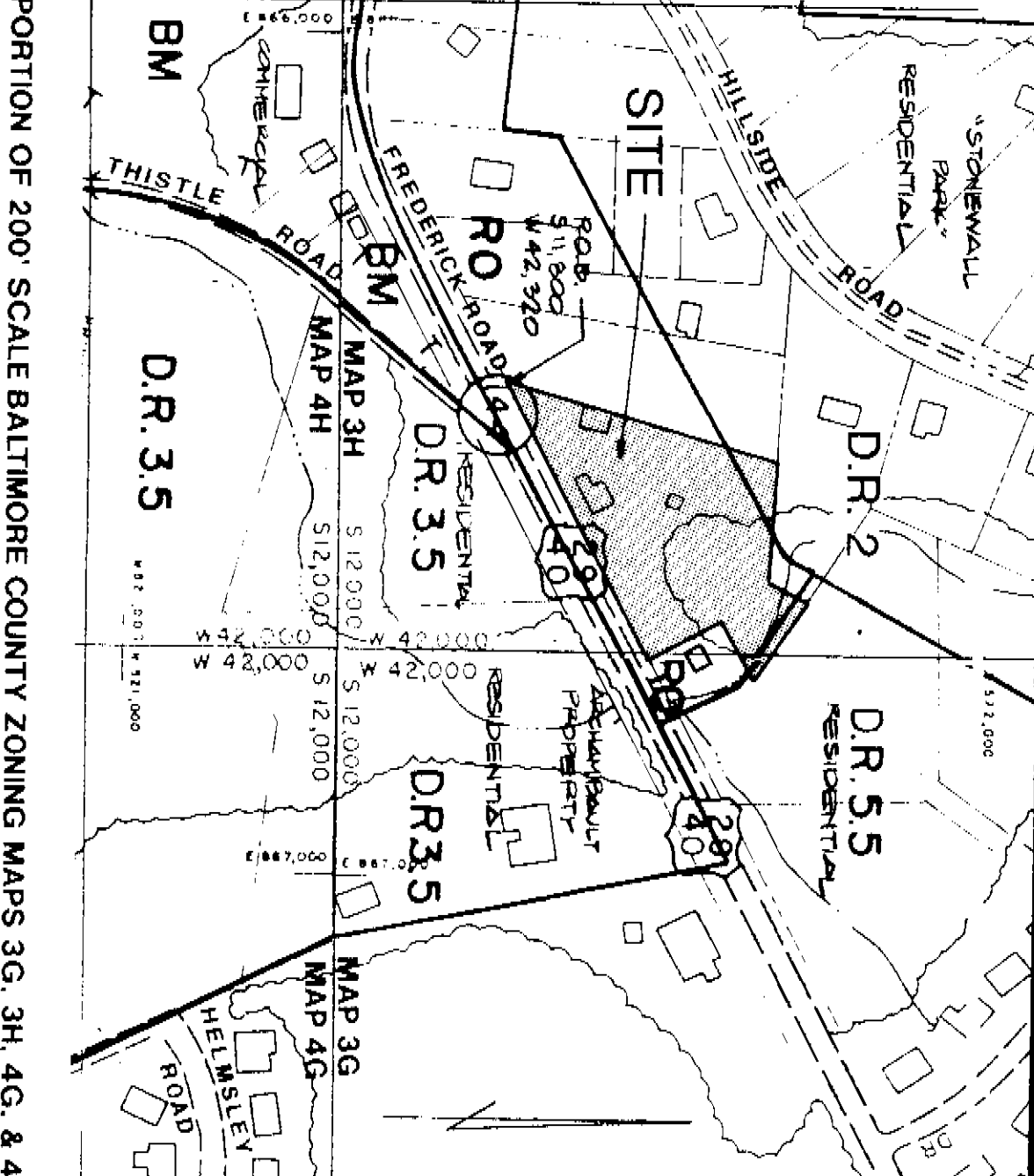


Drafting: Walker, Inc.
10000 Old Annapolis Road
Annapolis, Maryland 21406
Tel: 410/261-1100
Fax: 410/261-1101



Sheet

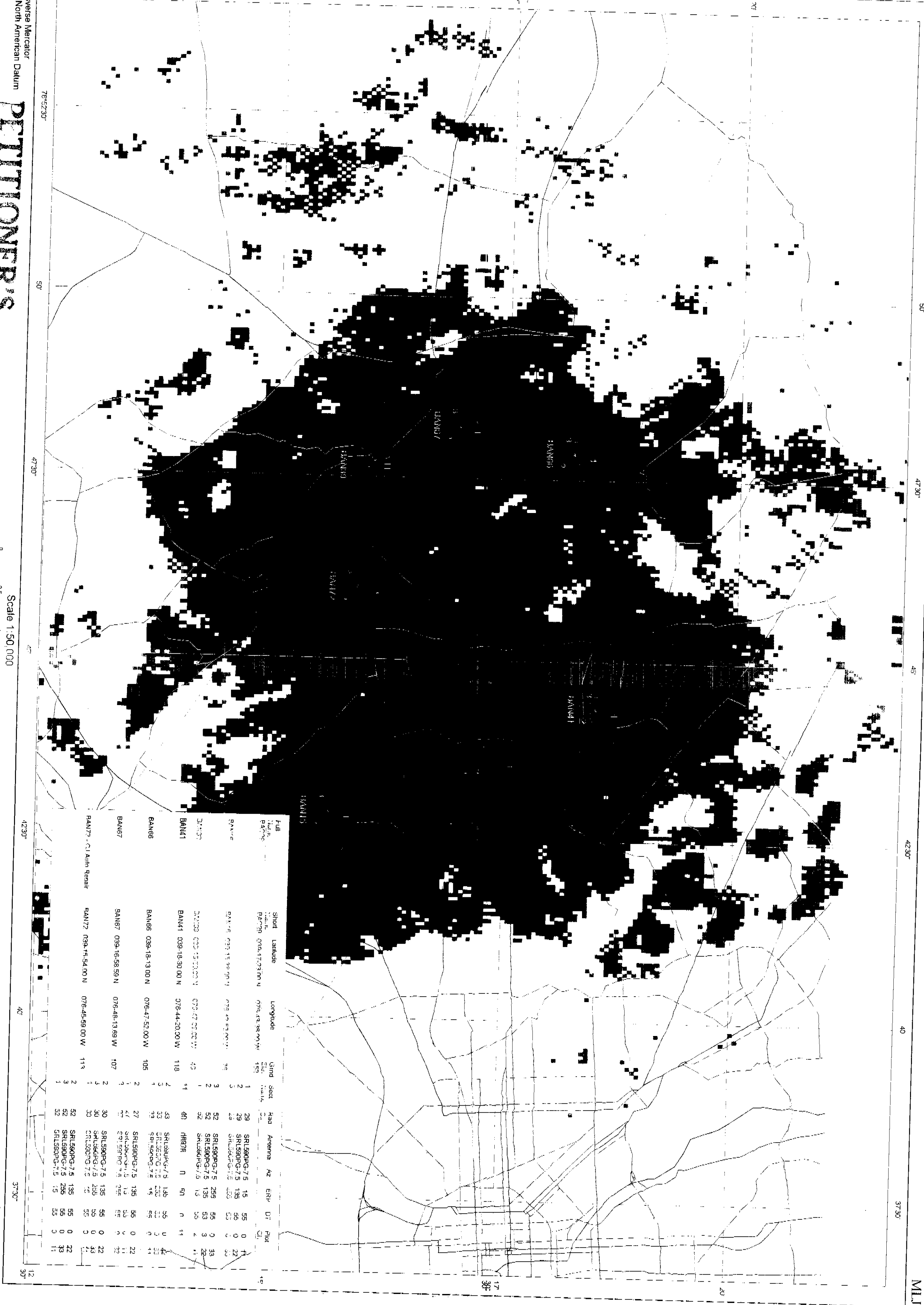
1 OF 1



96-55-XA

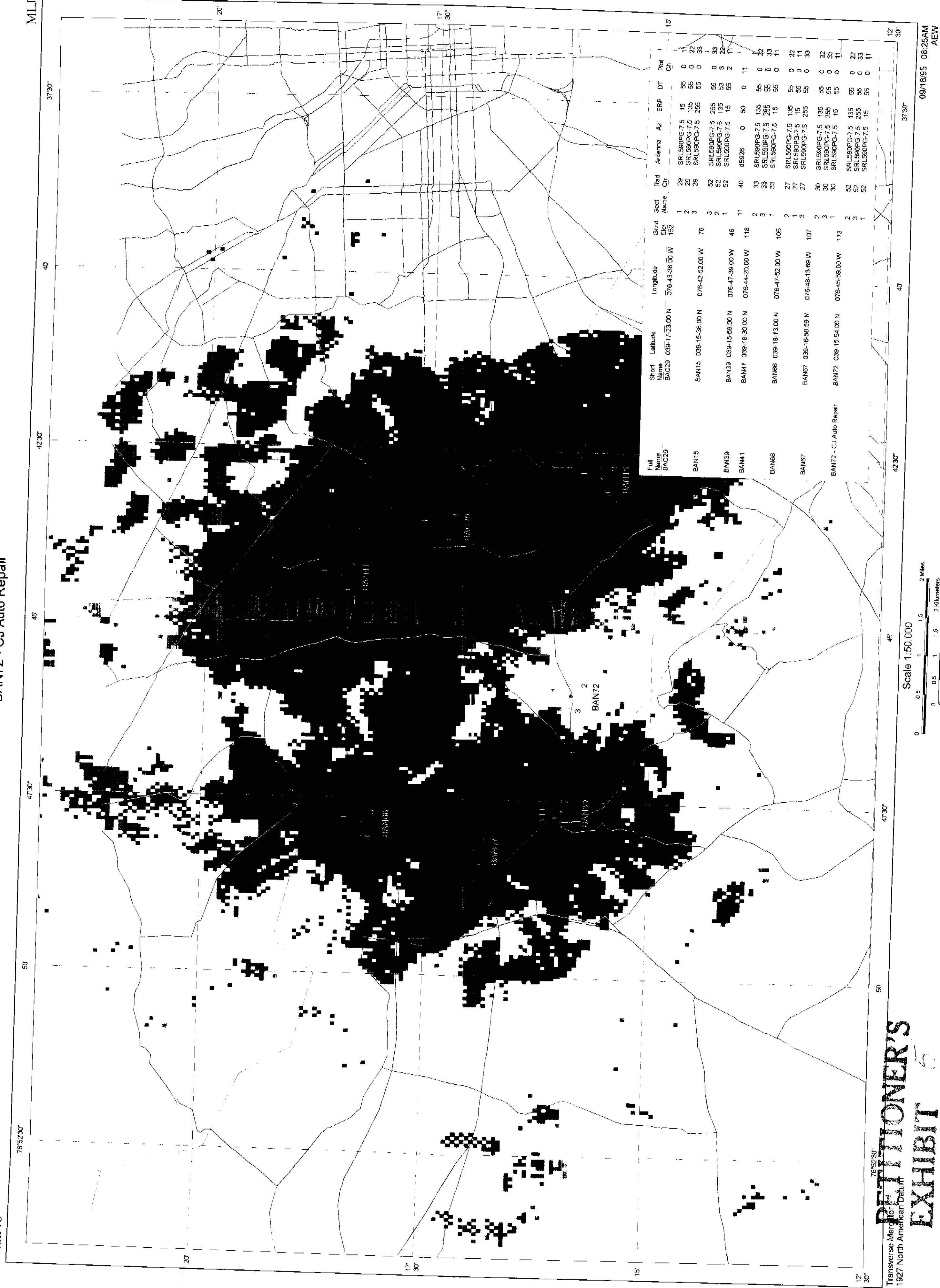
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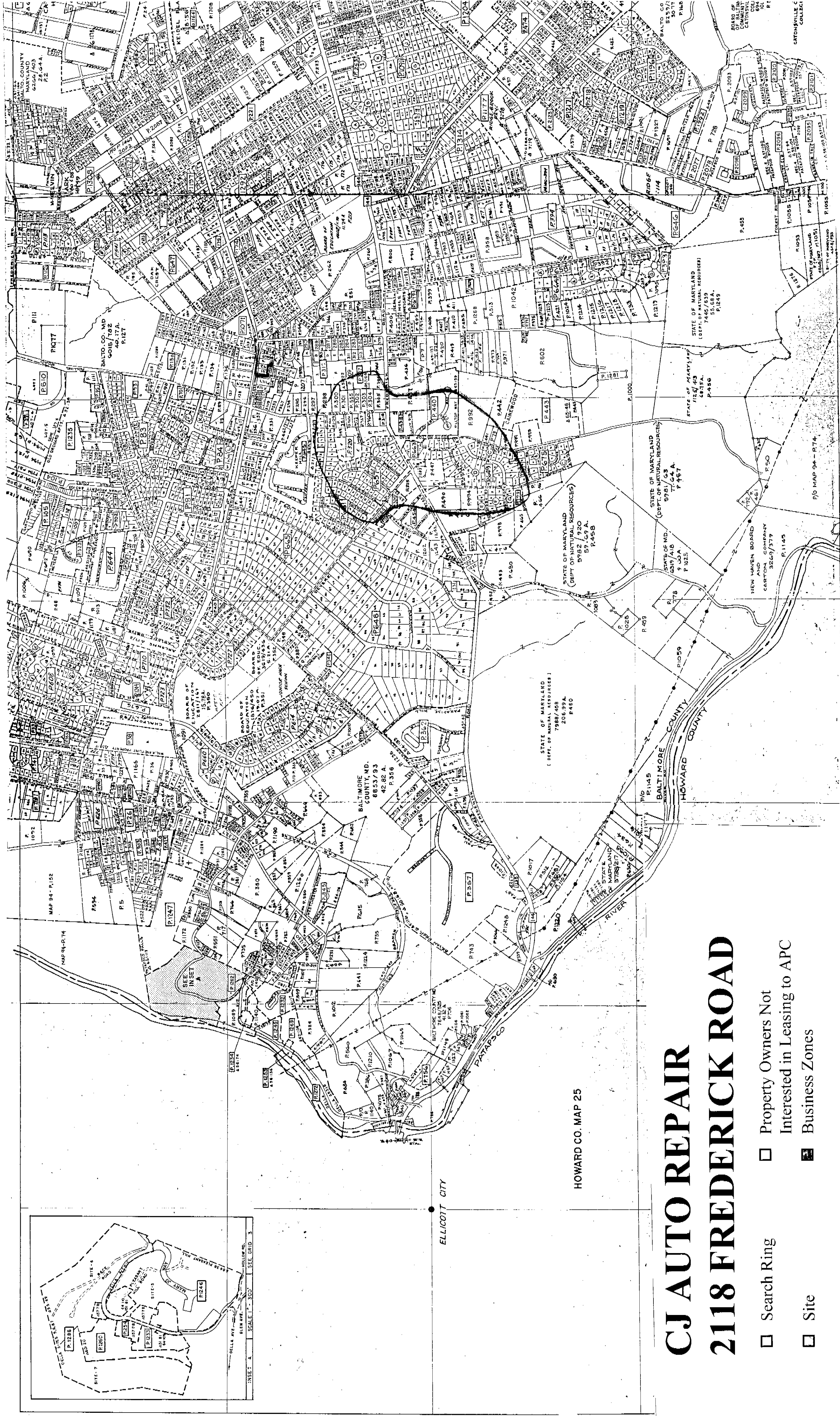
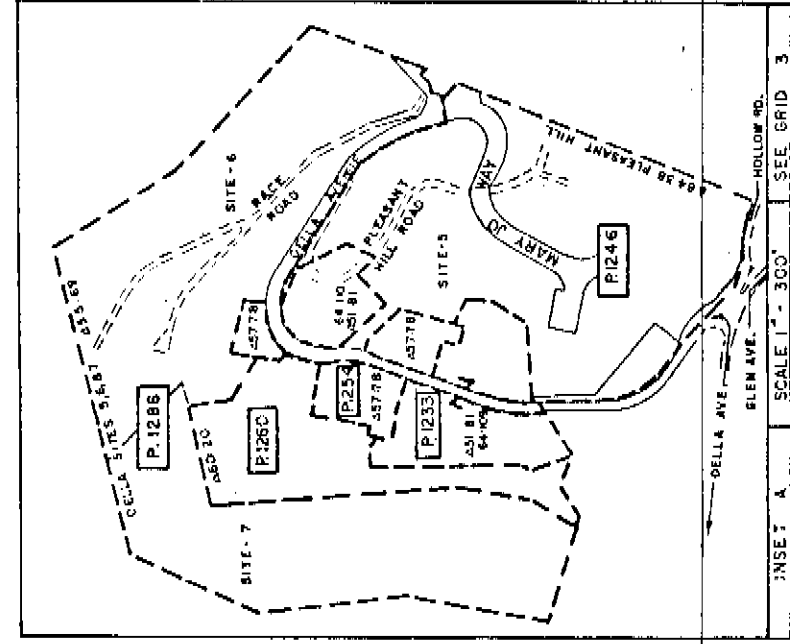
1. The proposed site is located within the 1000' scale zoning map G-1, F-1, & F-2, which is a residential medium density zoning district. The site is located within the 200' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 100' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 50' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 25' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 12.5' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 6.25' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 3.125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 1.5625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.78125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.390625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.1953125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.09765625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.048828125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0244140625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.01220703125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.006103515625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0030517578125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.00152587890625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.000762939453125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0003814697265625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.00019073486328125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.000095367431640625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0000476837158203125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.00002384185791015625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.000011920928955078125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0000059604644775390625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.00000298023223876953125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.000001490116119384765625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0000007450580596923828125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.00000037252902984619140625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.000000186264514923095703125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0000000931322574615478515625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.00000004656612873077392578125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.000000023283064365386962890625' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0000000116415321826934814453125' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0000000058207660913467407171875' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.00000000291038304567337035859375' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.000000001455191522836685179296875' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0000000007275957614183425896484375' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.00000000036379788070917129482421875' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.000000000181898940354585647412109375' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0000000000909494701772928237060546875' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.00000000004547473508864619175302734375' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.000000000022737367544323095876513671875' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0000000000113686837721615479382578359375' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.00000000000568434188608077396912891796875' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.000000000002842170943040386984564458984375' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.0000000000014210854715201934922822294921875' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. The site is located within the 0.00000000000071054273576009674614111474609375' scale zoning map 3G, 3H, 4G, & 4H, which is a residential medium density zoning district. 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PETITIONER'S
EXHIBIT 6

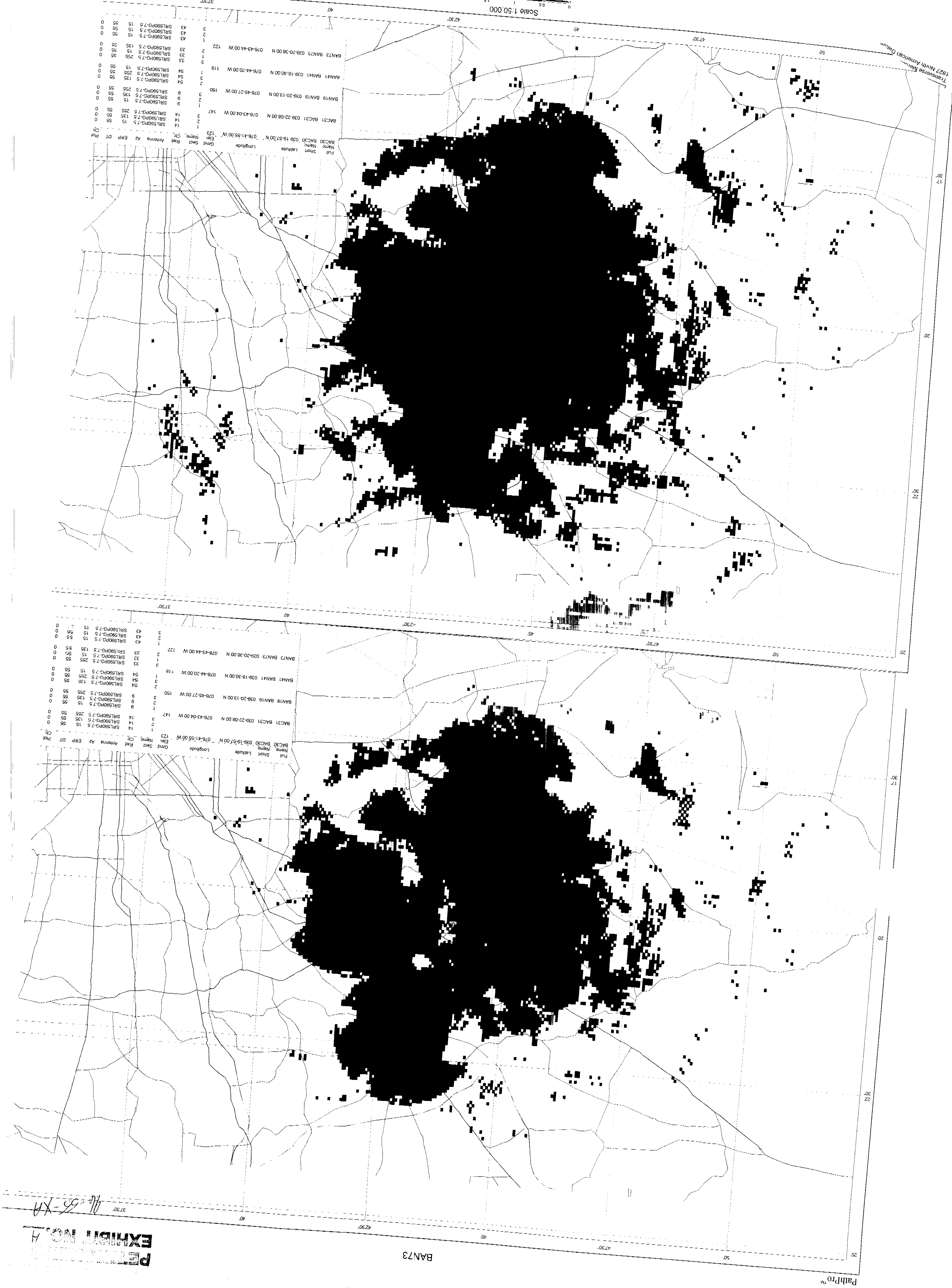
Scale 1:50,000
0 0.5 1 1.5 2 Miles





CJ AUTO REPAIR 2118 FREDERICK ROAD

- ☐ Search Ring
- ☐ Property Owners Not Interested in Leasing to APC
- ☐ Site
- ☒ Business Zones



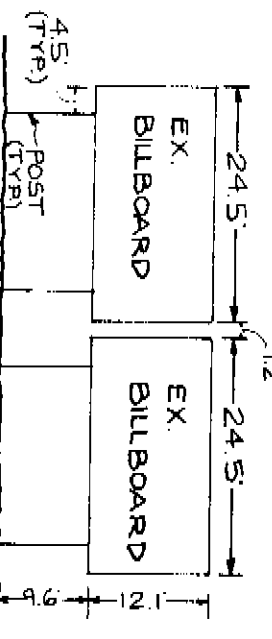
THERE SHALL BE NO CLEARING, GRADING, OR CONSTRUCTION OF ANY KIND OR KINDS OF VEGETATION IN THE FOREST RESERVING EXCEPT AS PERMITTED BY DEPRM.

SITE PLAN

Scale 1"=30'

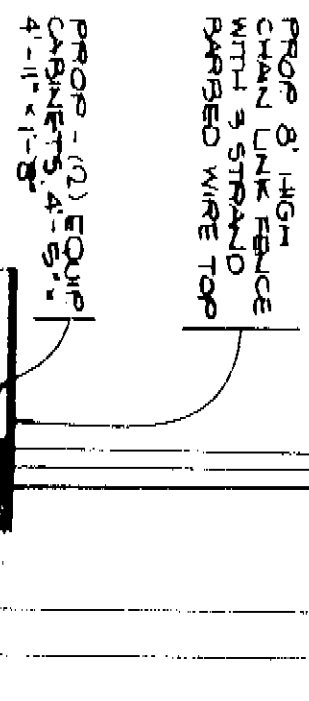
SIGN DETAIL

Scale 1"=20'



MONOPOLE ELEVATION

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Requested Zoning Action

#45

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DRAFTING: WALKER, INC.

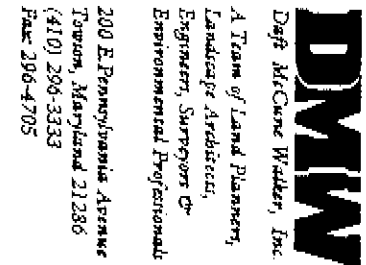


American Personal Communications

Frederick Road Site BAN 72

1st Election District

Baltimore County, Maryland



DMW
DRAFTING & DESIGN
1100 N. W. 10th Ave.
Fort Lauderdale, FL 33304
Tel: (305) 461-1100
Fax: (305) 461-1101



Sheet

1 OF 1

Proj. No. 94-16-142

Date 4/24/95

Scale As Shown

Last Rev.

REVISIONS

No. Description Date

1. 4/24/95

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